



HARVEST ROARING FORK
PLANNED DEVELOPMENT ORDINANCE



GARFIELD COUNTY, COLORADO

October 7, 2025

A DEVELOPMENT BY
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ILLUSTRATIVE PLAN: This plan depicts the design intent of the development but shall not constitute a regulatory document.



NEIGHBORHOOD CONCEPT MAP: This map depicts two conceptual designs aligned with the proposed form-based code. This map is not a regulatory document. The Applicant and County recognize that detailed site investigations and iterative planning are needed to address neighborhood form, livability, grades, views, and environmental conditions to achieve best-in-class development.



SITE CONDITIONS MAP: This map depicts general site conditions, including possible geotechnical conditions typical for this area. It is provided for informational purposes only and is not a regulatory document. Given the significant amount of site grading that is contemplated, this map should not be relied upon as the basis for design, permitting, or construction decisions. Full size scalable copies of this information have been submitted with this application.

The Applicant's development team will conduct additional testing and site assessments with each proposed development phase to identify specific issues and mitigation methods that will be implemented to address conditions identified during the development process.



Article I Defining the Neighborhoods

A. The Harvest Neighborhoods Overview

1. The Harvest Roaring Fork PUD defines a zoning district that consists of approximately 283 acres located in Garfield County Colorado, between State Highway 82 and the Roaring Fork River, just south of Glenwood Springs. The zoning district, hereafter referred to as 'Harvest' is subdivided into various neighborhoods which are each subject to development rules specific to the particular Neighborhood.
2. Harvest shall comply with Article 8 of the Garfield County Land Use Development Code (LUDC), Inclusionary Zoning for Housing, except as noted in the Housing Mitigation Plan.
3. The area of each Neighborhood shall be flexible and may vary by 20% of the estimated areas, except the Village Center which may increase up to 50%. The areas may be calculated from the boundaries of Harvest, the boundaries of adjacent Neighborhoods, and the centerlines of the Primary Streets.
4. This Development Ordinance is structured as a Form Based Code which establishes allowable forms for streets, open spaces, lots, buildings, and other items to allow development to be both flexible and predictable. Both the Applicant and the County desired this structure as appropriate for a large, long term development.
5. The rules within this Development Ordinance govern the permitted uses, the types of housing and/or commercial uses that may be permitted within each neighborhood, the street sections, the required open space area and the types of open space required, the building standards, and the parking standards, among other regulations.
6. Discrepancies: In the case of a discrepancy between this Development Ordinance and the current Garfield County Land Use Development Code, this Development Ordinance shall govern.
7. Minor Changes: Minor Changes to the standards shall not constitute a Zoning Change or a Variance.
8. The Planning Director shall, in their sole discretion, review proposed Minor Changes and approve, approve with conditions, or deny such requests within 30 calendar days of submittal. Minor Change denials by the Planning Director may be appealed to the Board of County Commissioners.
9. Minor changes shall:
 - a. Conform to the Comprehensive Plan;
 - b. Be consistent with the efficient development and the preservation of the character of the development;
 - c. Not increase the residential density;
 - d. Not decrease the amount of dedicated Open Space;
 - e. Not change the use category of the PUD between residential, commercial, or industrial uses;
 - f. Not be granted solely to confer a special benefit upon any person;
 - g. Not affect the rights of the residents, occupants, and owners of the PUD to maintain and enforce those provisions at law or in equity.
10. Minor Changes may include:
 - a. Altering the illustrated alignment of the primary streets;
 - b. **Increases of up to 5,000 square feet or 10% of the limits of commercial space within any neighborhood, whichever is smaller;**
 - c. Allowing up to 20% more single family driveways on Primary Streets;
 - d. Permitting alternative street drainage to curb-and-gutter storm water collection such as bar ditches;
 - e. Allowing streets to be divided along the centerline to employ two different street types;
 - f. Allowing tree spacing within required streetscapes to be increased;
 - g. Allowing an increase of one story to one building, excluding the North Riverfront and South Riverfront neighborhoods;
 - h. Permitting a decrease in **front or rear** building setbacks provided the buildings comply with local building codes;
 - i. Altering the alignment of the Community Trail network;
 - j. Granting **limited or temporary** exceptions to the Dark Sky standards;
 - k. Permitting uses not listed and/or defined in the Permitted Use Table in the LUDC;
 - l. Allow increase of 20% or less of the maximum area for irrigation;
 - m. Other issues of comparably minor impact.
11. Private Deed Restrictions: Harvest shall also be subject to deed restrictions applicable to all residential and commercial lots within the development. The deed restrictions shall, at a minimum, address:
 - a. design guidelines for residential and commercial buildings;
 - b. additional standards for private landscaping and public open spaces;
 - c. the review and approval process for planned improvements;
 - d. maintenance of common areas and common infrastructure.
12. Open Space: Required open space shall include existing easements within Harvest. Surpluses of required open space in any Neighborhood may be applied to deficiencies in other neighborhoods, except open space within the Conservation Easement cannot be allocated to other neighborhoods.
13. The following sections summarize the character and

I. The Harvest Neighborhoods Overview

prominent features of each neighborhood.

14. Submittals: Due to the number of jurisdictional entities and requirements, and that Harvest is large and will develop in phases over a period of years, not all of the information normally submitted with a zoning application is known or available at the time of submittal. For this reason the following items shall be included at the time of the application for a plat approval of a subdivision or a site plan approval.

- Phasing Plan: A phasing plan delineating the stages of the expansion of the infrastructure and the identification of current and future phases of development.
- Open Space: The standards for the Community Open Spaces, including location and minimum areas, are included herein. The standards for the Neighborhood Open Spaces are also included but the locations and final areas of the Neighborhood Open Spaces shall be provided with the plat applications for each neighborhood.
- Rights-of-way: Although we are providing the general network of primary streets, the final alignment, ROW width, and total area shall be provided as each phase plat application is submitted for approval.
- Easements: Existing easements affecting development are included herein and in the current survey, but future easements for access or utilities shall be provided as each phase plat application is submitted for approval.
- Lot Acreage / Buildings: The pattern of lot development that includes the gross and net acreage of each individual lot shall be provided at with the application for future phases. Building plans would be provided with a site plan application.

15. Property Owners Association

- The Property Owners Association (POA) shall be created through the Conditions, Covenants, and Re-

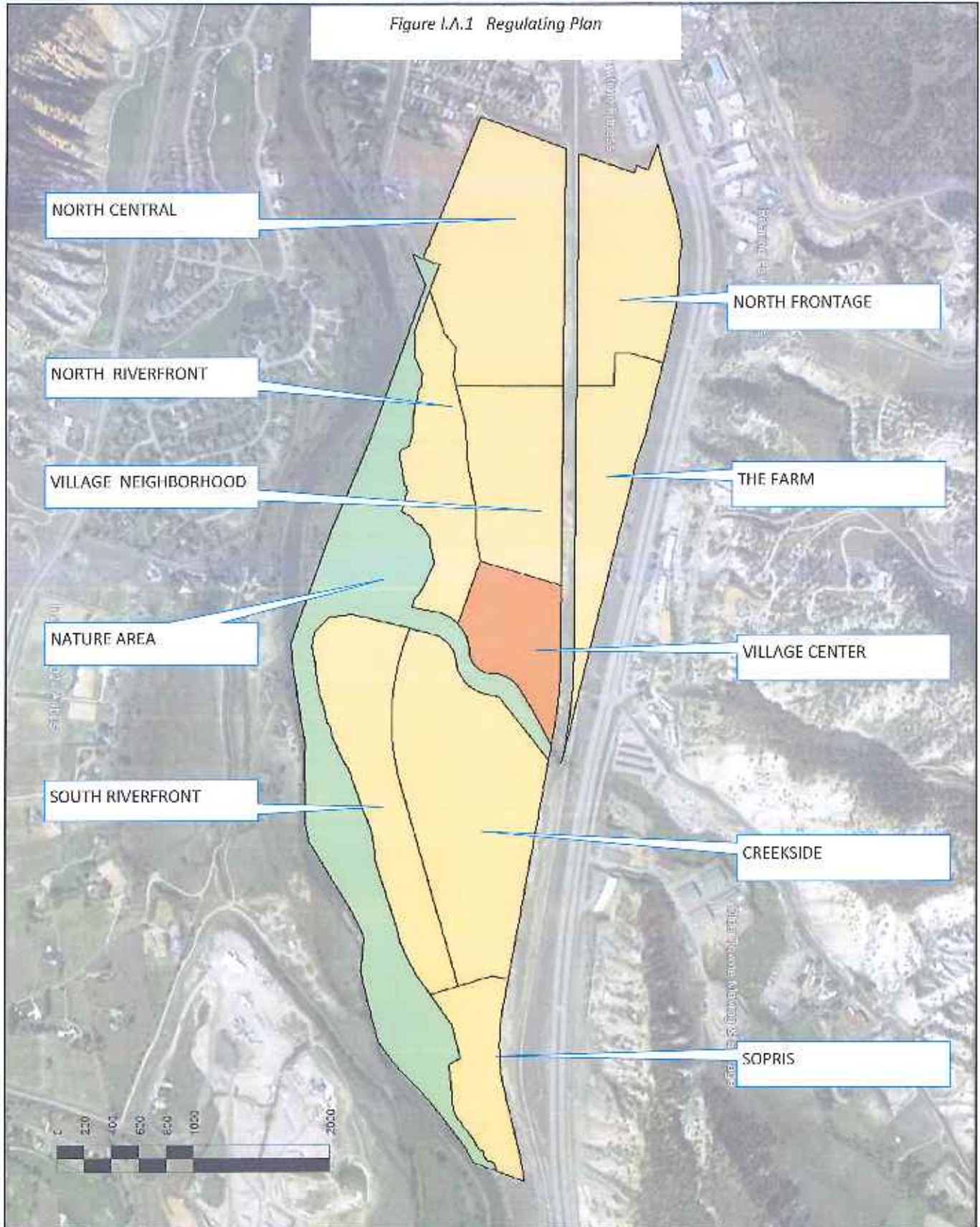
strictions (CCR's) as deed restrictions on property within the Harvest Planned Development District.

- The POA shall be responsible for enforcing the CCR's within the Harvest District.
- The POA shall be responsible for owning and maintaining designated public open spaces.
- The POA shall coordinate with the Cattle Creek Metropolitan District (CCMD) regarding custodial maintenance of infrastructure such as snow plowing of streets.
- The POA shall coordinate with the Roaring Fork Conservancy (RFC) regarding improvements within the Conservation Easement, restricting public access to the Conservation Easement, enforcing pet restrictions per the CCR's, .
- The POA shall enforce CCR regulations regarding the residential rental policy within the Harvest District.
- The POA shall establish an Architectural Review Committee which shall create and enforce Design Guidelines.
- The POA shall enforce Dark Sky regulations specified in the CCR's.
- The POA shall enforce any noise regulations included in the CCR's.
- The POA shall enforce CCR's requirements regarding bear awareness including the use of bear resistant trash receptacles, regular trash removal, posting advisory signage, construction site inspection, and, where appropriate, bear resistant exterior door knobs.
- The POA shall implement the approved Noxious Weed Management Plan on required open spaces in accordance with County requirements.

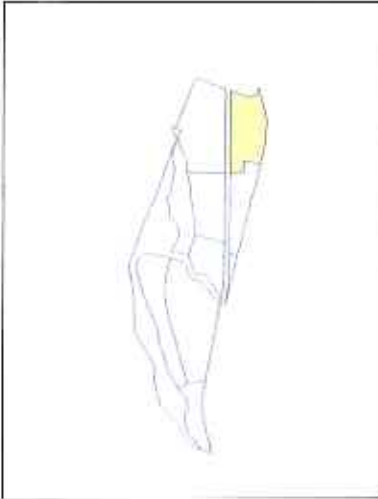
TABLE 11. - NEIGHBORHOOD STANDARDS

NEIGHBORHOOD STANDARDS	NORTH FRONTAGE	NORTH CENTRAL	THE FARM	VILLAGE NEIGHBORHOOD	VILLAGE CENTER	NORTH RIVERFRONT	CREEKSIDE	SOUTH RIVERFRONT	SOPRIS	NATURE AREA		TOTAL
										TRANSLATION	CONSERVATION EASEMENT	
ESTIMATED AREA, AC	25.7	39.1	19.1	22.4	14.5	19.5	45.3	26.8	12.3	3.1	55.2	282.8
PERCENT AREA	9.1%	13.8%	6.2%	7.9%	5.7%	6.9%	16.0%	9.5%	4.3%	1.1%	19.5%	100.0%
MAX COMMERCIAL, SF	5,000	0	5,000	2,500	35,000	0	0	0	5,000	2,500	0	55,000
MIN OPEN SPACE	5%	5%	5%	5%	5%	5%	5%	5%	5%	5%	NA	
MAX RES. DENSITY	15	12	9	15	7	8	9	7	8	6	0	
MAX RES. UNITS	1500											1500 RU

I. The Harvest Neighborhoods Overview



The Neighborhoods



B. NORTH FRONTAGE NEIGHBORHOOD

DESCRIPTION: The North Frontage Neighborhood borders the northern entrance from SH 82 and includes a mix of small scale neighborhood retail goods and services as well as primarily affordable and workforce housing.

BOUNDARY: The North frontage Neighborhood shall be bounded by Harvest property line to the north, SH 82 ROW to the east, the Primary Street Segment 1 to the south and the Rio Grand Trail ROW to the west. The Neighborhood may be accessed by two intersections on the Primary Street Segment 1.

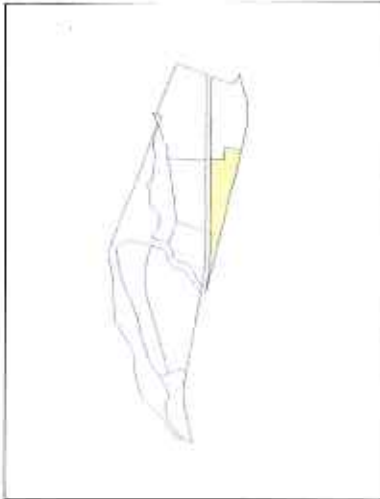
REQUIRED OPEN SPACE: OS-5 Existing Greenbelt along Rio Grand Trail 20' wide; OS-3 Frontage Buffer along SH 82, an average of at least 25' wide; OS-7 Central Green, and OS-9 Playground.

RESTRICTIONS: Any three story land use shall occupy no more than 35% of the gross neighborhood land area.



Photographs included herein are intended to provide a sense of the quality and character of the proposed development and are not intended to depict specific fauna, flora, or architectural detail that is likely to be employed in the development.

The Neighborhoods



C. THE FARM

DESCRIPTION: The Farm Neighborhood nestles between SH 82 and the Río Grande Trail, and contains the community Barn, a community garden, a small amount of commercial space, as well as a variety of housing types.

BOUNDARY: The Farm Neighborhood is bounded by the Primary Street Segment 1 to the north, SH 82 ROW to the east, and by the Río Grande Trail ROW to the west.

REQUIRED OPEN SPACE: OS-5 Existing Greenbelt along Río Grande Trail 20' wide; OS-3 Frontage Buffer along SH 82, an average of at least 25' wide; OS-7 Central Green. The Central Green shall be agricultural in nature, adjacent to the signature barn.

RESTRICTIONS: The neighborhood shall be accessed by an intersection on the Primary street Segment 1.



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The Neighborhoods



D. VILLAGE NEIGHBORHOOD

DESCRIPTION: The Village Neighborhood is the most central neighborhood and the closest residential neighborhood to the Village Center. It offers housing options appropriate to households wishing to be easy walking distance to the goods and services offered in the Village. The urban form of this neighborhood is the predominant characteristic.

BOUNDARY: The Village Neighborhood is bounded by the Glenwood Ditch to the west, the North Central Neighborhood to the north, the Rio Grande Trail ROW to the east and the Village Center to the south. The Primary Street Segment 2 runs through the neighborhood from north to south.

REQUIRED OPEN SPACE: OS-5 Existing Greenbelt along Rio Grand Trail 50' wide; OS-6 Pocket Park; and OS-4 Linear Park.

RESTRICTIONS: Any three story land use shall occupy no more than 30% of the gross neighborhood land area.



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The Neighborhoods



E. VILLAGE CENTER

DESCRIPTION: The Village Center is the heart of Harvest and the main gathering place for all the separate neighborhoods. Offering shopping, restaurants, limited professional services, it provides the basics for the community to avoid unnecessary trips outside the community.

BOUNDARY: The Village Center is bounded by the Village Neighborhood to the north, the Rio Grande Trail ROW to the east, the North Riverfront to the west, and the Nature Area to the south. The Primary Street Segment 2 runs through the neighborhood from north to south, and the street section may be modified to accommodate on-street parking for the segment through the Village Center.

REQUIRED OPEN SPACE: OS-5 Existing Greenbelt along Rio Grand Trail 50' wide; OS-7 Central Green that may be used as an informal gathering area for residents.

RESTRICTIONS: Any three story land use shall occupy no more than 45% of the gross neighborhood land area. The Village Center shall include no more than 50 dwelling units.



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The Neighborhoods

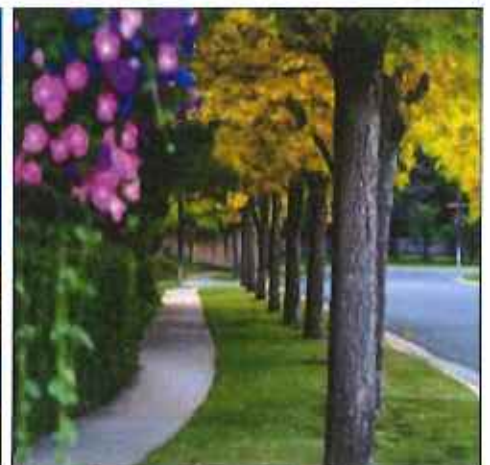
F. CREEKSIDE NEIGHBORHOOD

DESCRIPTION: The Creekside Neighborhood, closest to the south entry from SH 82, is one of the largest and the most diverse neighborhood offering a variety of housing options within a single neighborhood.

BOUNDARY: The Creekside Neighborhood shall be bounded by the Rio Grand Trail ROW to the east, The Nature Area to the north, the South Riverfront Neighborhood to the west and Sopris Neighborhood to the south. The Primary Street Segment 3 runs along the western boundary.

REQUIRED OPEN SPACE: OS-5 Existing Greenbelt along Rio Grand Trail 50' wide; Two OS-6 Pocket Parks, and OS-4 Linear Park with a trail connecting to the Community Trail network.

RESTRICTIONS: Any three story land use shall occupy no more than 30% of the gross neighborhood land area.



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The Neighborhoods

G. SOPRIS NEIGHBORHOOD

DESCRIPTION: Sopris is on a bluff overlooking the Roaring Fork River and Mount Sopris. Separated from the rest of the community by the access ramp from SH 82, it offers a quiet corner of Harvest for more exclusive housing options and some hospitality amenities for the residents.

BOUNDARY: Sopris Neighborhood shall be bounded by the Conservation Area to the west, South Riverfront and Creekside Neighborhoods to the north and the Rio Grande Trail ROW to the east and the Roaring Fork River to the south. Access may be provided by secondary streets from the northwest.

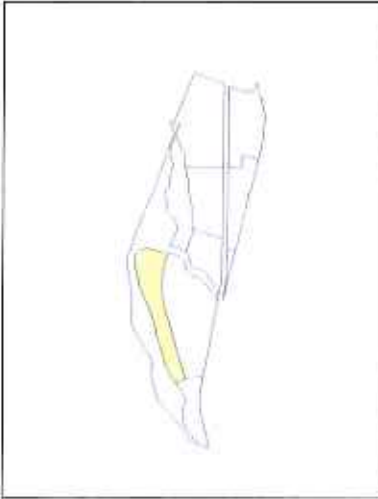
REQUIRED OPEN SPACE: OS-5 Existing Greenbelt, 50' in width, along the Rio Grande Trail

RESTRICTIONS: In addition to the commercial space permitted, the Neighborhood shall permit an hotel of not more than 120 rooms which shall count as 27 Residential units. The maximum height of the hotel shall not exceed 3 stories **and shall not exceed 39 feet above the 6040 contour line.**



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The Neighborhoods



H. SOUTH RIVERFRONT NEIGHBORHOOD

DESCRIPTION: The South Riverfront Neighborhood occupies the largest length of river-front of any neighborhood and offers views of the Conservation Easement adjacent to the Roaring Fork River. The Neighborhood offers larger homesites as well as other housing options.

BOUNDARY: The South Riverfront Neighborhood is bounded by the Nature Area to the north and the west, the Creekside Neighborhood to the east and Sopris Neighborhood to the south. The Primary Street Segment 3 runs along the eastern boundary.

REQUIRED OPEN SPACE: OS-2 Wildlife buffer abutting the Conservation Easement, OS-4 Linear Park including a trail connecting to the Community Trail Network, OS-6 Pocket Park.

RESTRICTIONS: Maximum building height shall be two stories.



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The Neighborhoods



I. NORTH RIVERFRONT

DESCRIPTION: The North Riverfront Neighborhood faces the Roaring Fork River and the Nature Area and is adjacent to the North Central Neighborhood, the Village Neighborhood, and the Village Center. Homesites are smaller than the Riverfront to the south and offer a variety of housing options.

BOUNDARY: The North Riverfront Neighborhood is bounded by the Glenwood Ditch to the east, the Nature Area to the west, and the Village Center to the south. The neighborhood shall be accessed by secondary streets from the east, south, or north.

REQUIRED OPEN SPACE: OS-7 Wildlife Buffer along western boundary with The Nature Area, OS-6 Greenbelt along length of the Glenwood Ditch.

RESTRICTIONS: Maximum building height shall be two stories.



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The Neighborhoods

J. NORTH CENTRAL NEIGHBORHOOD

DESCRIPTION: The North Central Neighborhood, tucked into the northern corner of Harvest is the largest neighborhood and offers the most extensive application of affordable, attainable, and workforce housing options.

BOUNDARY: The North Central Neighborhood shall be bounded by the Harvest boundary to the north and west, the Glenwood Ditch to the west, the Village Neighborhood to the south and by the Rio Grand Trail ROW to the east. The neighborhood shall be accessed by an intersection on the Primary Street Segment 1 plus another access on a secondary street.

REQUIRED OPEN SPACE: OS-5 Existing Greenbelt along Rio Grand Trail 50' wide; OS-7 Central Green; OS-9 Playground.

RESTRICTIONS: Any three story land use shall occupy no more than 30% of the gross neighborhood land area.



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The Neighborhoods

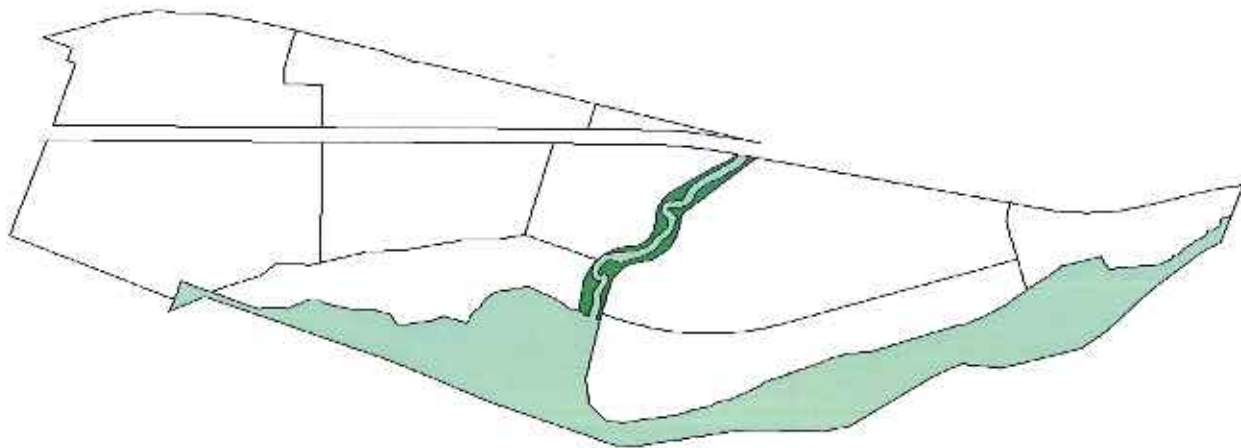
K. NATURE AREA NEIGHBORHOOD (NA)



DESCRIPTION: The Nature Area is a combination of private parkland and land that has been set aside as a dedicated easement for habitat preservation.

BOUNDARY: The Nature Area is bounded by the Roaring Fork River and 3rd party land to the west, and by the North and South Riverfront Neighborhoods to the east. The Nature Area is comprised of the Conservation Easement, the Heron Rookery Zone, and private parks. See Figure below

REQUIRED OPEN SPACE: The Nature Area consists of OS-1, the Conservation Easement approximately 54 acres, and OS-2, and OS-3 which are private parks, open to the public on the north and south banks of Cattle Creek, and the Rookery exclusion zones.

RESTRICTIONS: Within the Conservation Easement, no residential or commercial development is permitted. Within the Conservation Easement boundaries, no improvements are permitted without the approval of the Conservation Authority. **The Property Owners Association shall coordinate with the RFC regarding the execution and enforcement of the restrictions pertaining to the Conservation Easement.**



 Conservation Easement
 Conservation Easement Transition Area



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Article II Land Use Standards (Applicable to all Neighborhoods)**A. Permitted Uses**

1. Harvest is envisioned as a mixed-use development consisting primarily of housing with enough commercial activity to provide convenience goods and services to the residents to reduce the need for vehicle trips. The most suitable zoning category of the Garfield County Land Use Development Code (LUDC) for this purpose is CL, Local Commercial.
2. Permitted Uses: All uses listed under the Local Commercial (CL) zoning category as 'P' or 'A' under the July 15, 2013 Garfield County Land Use Development Code (LUDC), shall be permitted by right.
3. Permitted Uses Residential: All Residential uses listed in the July 15, 2013 LUDC under the 'Household Living' zoning category shall be permitted by right.
4. Because housing units shall be smaller in square footage and some single family homes may not be equipped with enclosed garages, then common parking areas, resident storage facilities, and a community car wash facility shall be permitted by right.
5. **Bus and/or transit stops shall be permitted by right.**
6. **Parking facilities shall be permitted by right.**
7. Prohibited Uses: Commercial Uses that are more industrial in nature shall not be permitted. Specifically, the following uses permitted under the CL Zoning category are not permitted in Harvest:
 - a. Foster Home, Group Home
 - b. Equipment, Machinery, Lumber Yard
 - c. Vehicle & Equipment Sales
 - d. Hydraulic Fracturing, remote surface facility
 - e. Oil & Gas Drilling
8. The types of residential uses permitted within each neighborhood is established by the type of residential lot that is permitted. The lot types permitted are noted in Table II.A1. Definitions of each lot type are provided in section D Lot Types.
9. Except for common public assembly spaces, no single retail establishment shall exceed 10,000 square feet of conditioned, indoor space.
10. Permitted uses shall also include a maximum of one hotel.
11. New uses or uses requiring clarification may be approved by the Director of Planning provided that the use is consistent with the intent of serving the residents of Harvest.
12. Temporary Employee Housing: For reasons stated below, the Applicant may submit a separate Special Use application for temporary employee housing conforming to Sections 7-704, 7-705, 7-706 as applicable, subsequent to consideration for this zoning approval. If requested, this Special Use Permit would help to reduce construction traffic, and optimize construction operations with the goal to help permit the delivery of housing product at a pace and price pursuant to the needs of Garfield County. If Requested, such a Special Use application would specify the maximum number of individuals to be housed, the location and type of the proposed housing, the required infrastructure and the specific duration of the temporary housing.
13. Where three-story land uses are limited by area, the percentage shall be calculated by dividing the lot area of the three-story land use by the gross area of the neighborhood. Example: 30% of a 30 acre neighborhood would equal a maximum lot area of 9 acres.

TABLE II.A1 - NEIGHBORHOOD STANDARDS

DEFINITION OF LOT TYPES ARE INCLUDED IN ARTICLE II, SECTION D, LOT STANDARDS	NORTH FRONTAGE	NORTH CENTRAL	THE FARM	VILLAGE NEIGHBORHOOD	VILLAGE CENTER	NORTH RIVERFRONT	CREESIDE	SOUTH RIVERFRONT	SOPRIS	NATURE AREA	
										TRANSITION AREA	CONSERVATION EASEMENT
CM LOT Commercial only	P		P		P				P	P	
MX LOT Mixed commercial and residential	P		P		P				P	P	
MF-1 Multifamily, vertically stacked dwelling units	L	L	L	L	L		L				
MF-2 Bungalow court, attached on common lot	P	P	P	P			P				
MF-3 Cottages, detached units on a common lot	P	P	P	P			P				
SF-1 Townhomes	P	P	P	P	P	P	P	P	P	P	
SF-2 Zero-lot-lines	P	P	P	P		P	P	P	P	P	
SF-3 Mid-size w alleys	P	P	P	P		P	P	P	P	P	
SF-4 Large w alleys	P	P	P	P		P	P	P	P	P	
SF-5 Large w front driveways	P	P	P	P		P	P	P	P	P	

P = Permitted; L = 3 story land use limited to a % the of neighborhood area, specified in Article I, Sections \ Restrictions

B. Vehicular Network and Street Standards

STREETS

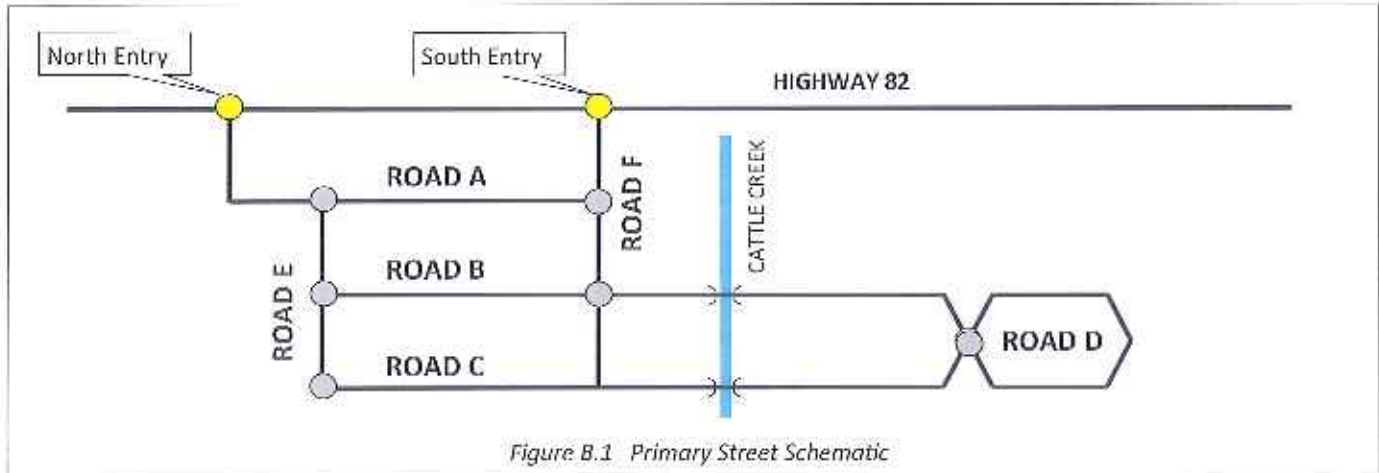
1. All Lots shall front onto a street ROW or onto a qualified open space.
2. All streets shall include a Streetscape as defined in Article II, Section B *Streetscapes*. A street may omit the adjacent Streetscape provided a qualified open space is located in place of the Streetscape.
3. Streets are divided into Primary, Secondary and Tertiary roadways. Primary Roads are required connections as indicated in Figure B1. Secondary Roads are shown to indicate probable access routes that provide access for fire apparatus and to avoid long dead end streets. Tertiary streets and alleys are not shown but would be defined in future Site Plan submittals.
4. Single Family driveways on Primary Streets shall be limited to 10 driveways per 1000' of street frontage.
5. The Primary Roads are defined in Paragraph 12 below. A simplified diagram, Figure B1, illustrates the proposed network and figure B2 illustrates the conceptual plan. Final alignments may differ based on phasing, engineering requirements.
7. Single Loaded Streets are contemplated especially for lots abutting the Conservation Easement to the west. These may be single loaded streets with driveways or they may be pedestrian trails with rear alleys providing vehicular access to lots.
8. On-street parking is permitted in all residential Neighborhoods.
9. Streets are defined by the standards in Table B1. Dimensions provided are minimum dimensions and may be increased. The variety of street sections and curb styles are intended to unify each Neighborhood and distinguish it from other neighborhoods.
10. Street connections to existing streets outside Harvest, to the north through the North Central Neighborhood or to the south through the Sopris Neighborhood, shall be permitted pending the consent of the adjacent landowners.
11. In general, cul-de-sacs and dead ends should be avoided where possible. Where a cul-de-sac is used, a pedestrian connection from the cul-de-sac shall be provide to connect to the community trail network.

Table B1 Street Standards - Curb-to-Curb

STREET LABEL	DESCRIPTION	FLAT CURB	ROLLED CURB	STANDARD CURB	INVERTED CROWN
S-60	Commercial / multifamily	A	A	A	A
S-40	Commercial / multifamily	A	A	A	A
S-30	Primary Street	A	A	A	
S-25	Medium residential	A	A	A	A
S-20	Small residential	A	A	A	A
S-15	One -Way	A	A	A	A
A-20	Commercial alley	A			A
A-12	Residential alley	A			A
A = Allowed; Blank = Prohibited					

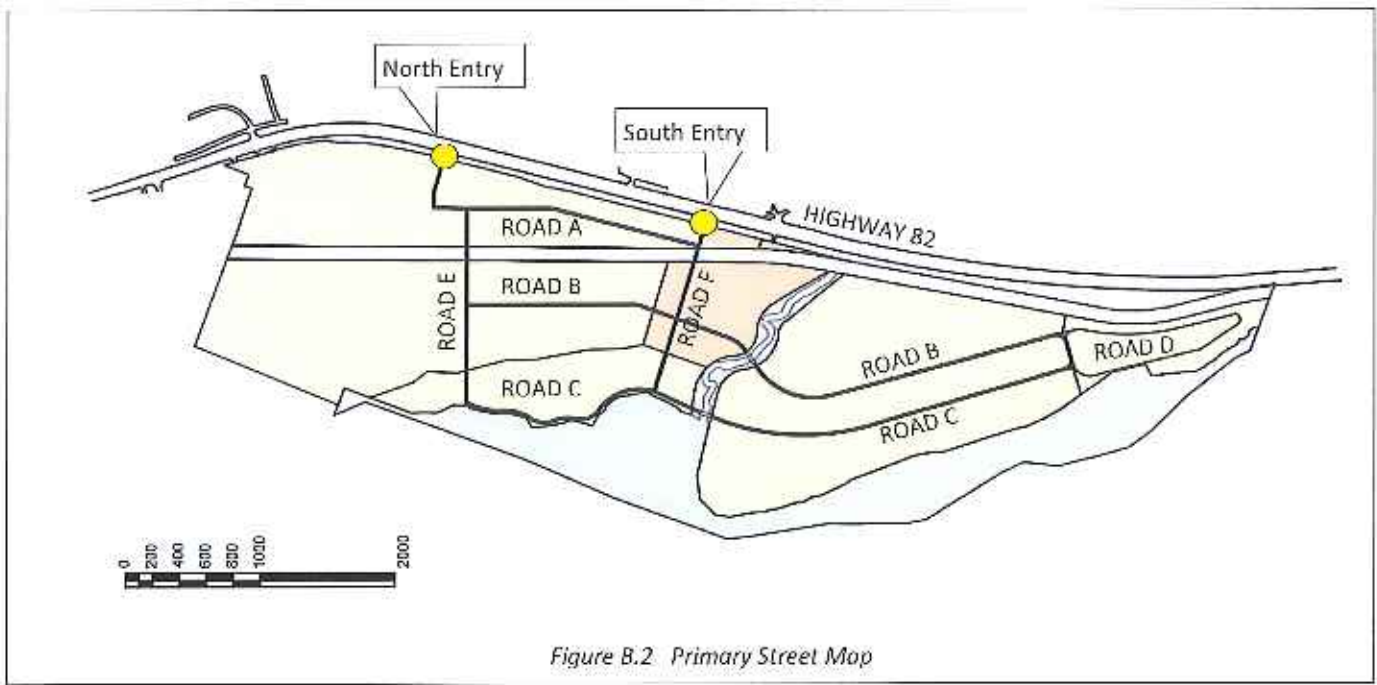


B. Vehicular Network and Street Standards



12. Primary Street Definitions

- a. Road A: From the North Entry, through The Farm Neighborhood, to intersect with Road F.
 - b. Road B: From the intersection with Road E at the boundary of the North Central Neighborhood, through the intersection with Road F, over Cattle Creek to connect with Roads C and D.
 - c. Road C: From the intersection with Road E within the North Riverfront Neighborhood, through the optional intersection with Road F, over Cattle Creek to connect with Roads B and D.
 - d. Road D: From the intersection with Roads B and C via a 1-way or 2-way road to loop through the Sopris neighborhood, to return to the intersection with
- Roads Band C.
- e. Road E: From the intersection with Road A in the Farm Neighborhood, under the RFTA trail, through the intersection with Road B to the intersection with Road C.
 - f. Road F: From the South Entry through the intersection with Road A, through the intersection with the RFTA trail, through the intersection with Road B and optionally, to connect to Road C.
 - g. Primary roads shall use Street types S-60, S-40, S30, or S25.
 - h. **Primary vehicular entrances from SH 82 shall include game guards to discourage wildlife entry.**



B. Vehicular Network and Street Standards

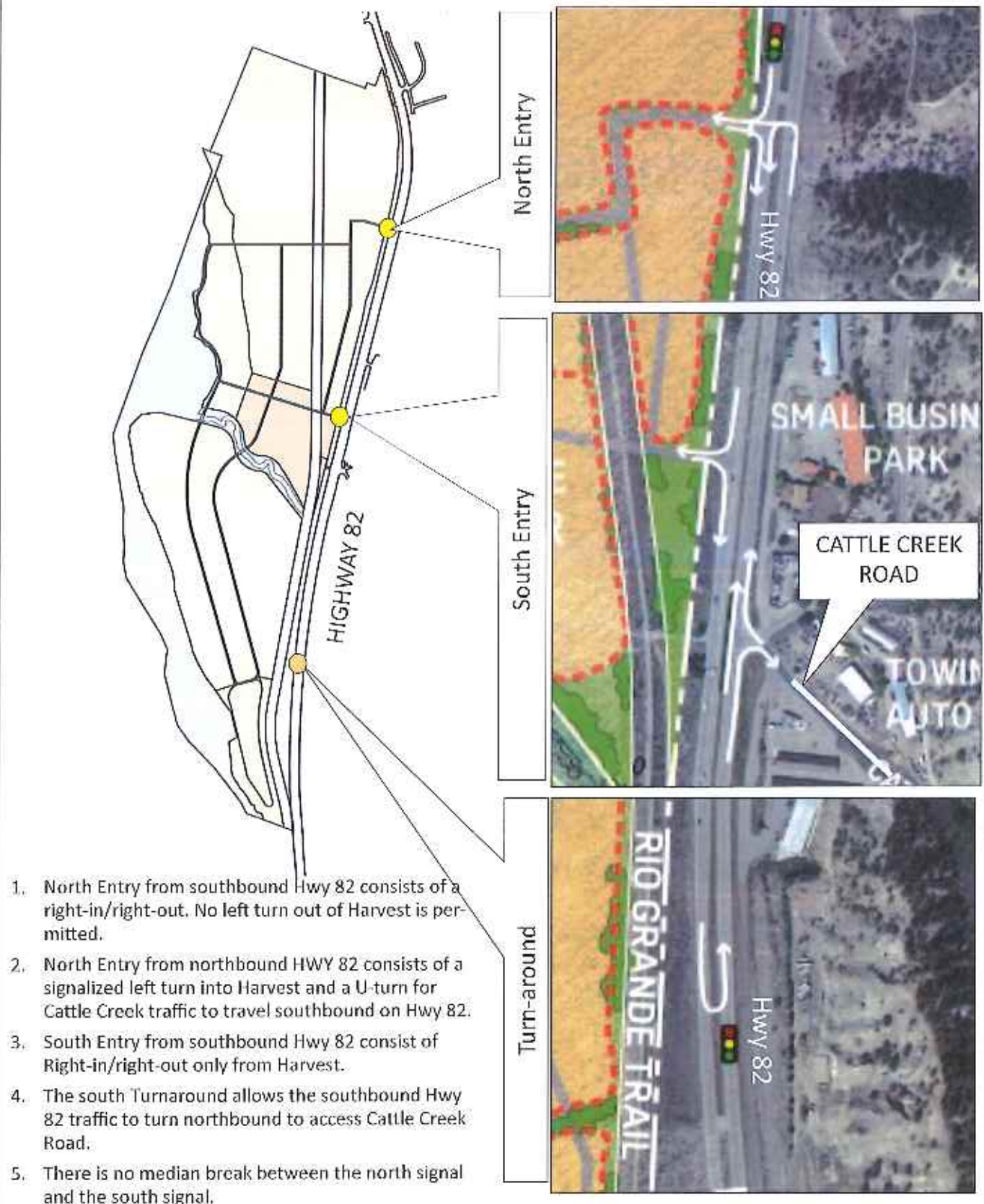
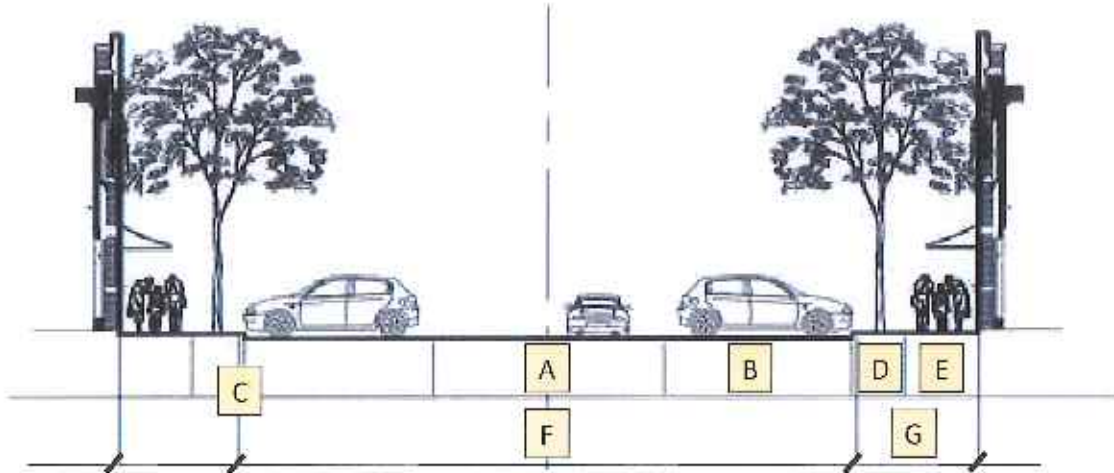


Figure B.3 Highway 82 Access

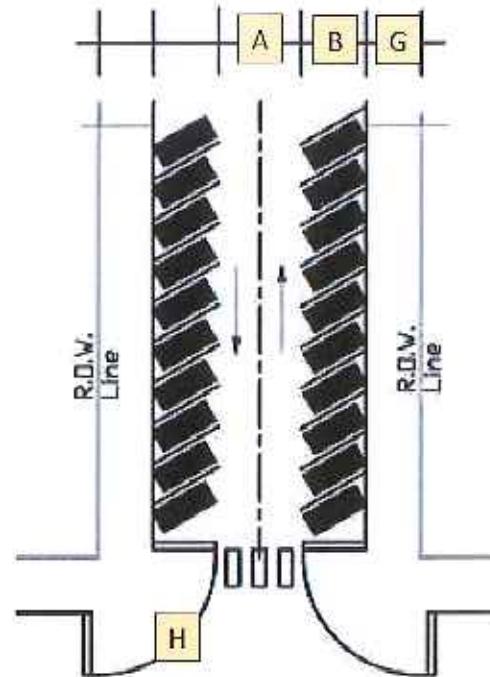
B. Vehicular Network and Street Standards

S-60 STREET STANDARD

1. The S-60 Street Section is designed for the higher intensity of commercial and multifamily land uses. On-street parking is preferable to parking lots because it is more convenient and more attractive.
2. The street type is intended for use in the Village Center as well as neighborhoods with higher density residential uses..
3. Alleys and commercial driveways are permitted but single family driveways are not permitted.



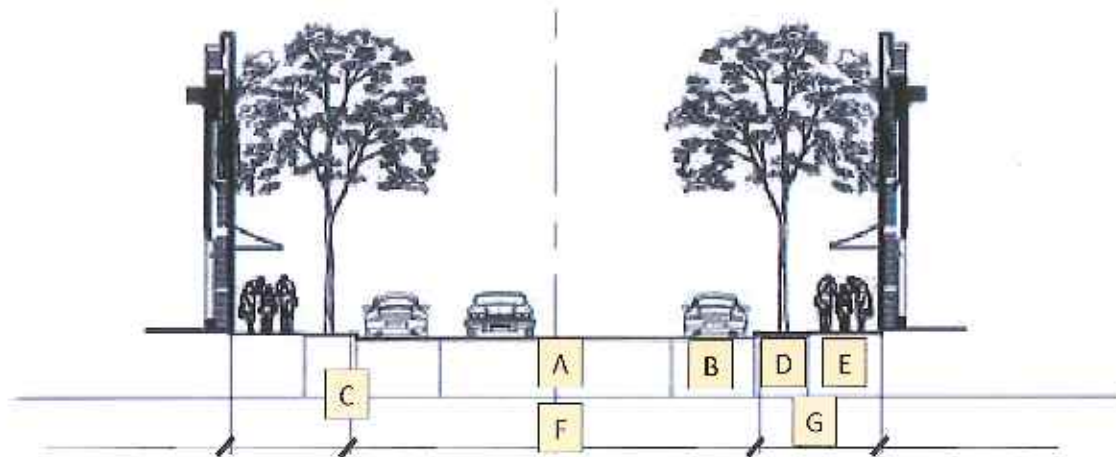
	STANDARD	MINIMUM DIMENSION
	ONE TRAVEL LANE, WIDTH	10'
A	BOTH LANES, WIDTH	20'
B	DEDICATED PARKING LANE	18'
	TYPE OF PARKING	ANGLED
C	CURB WIDTH, MINIMUM	0.5'
D	TREE WELL/PARKWAY WIDTH	4'
E	SIDEWALK MINIMUM WIDTH	6'
F	MIN B-B STREET WIDTH	57'
G	MIN STREETScape WIDTH	10'
	MIN ROW WIDTH	77'
H	MIN CURB RADIUS	15' - 25'
	MIN INTERSECTION SPACING	100'
	MIN SINGLE FAMILY DRIVEWAY SPACING	NOT PERMITTED



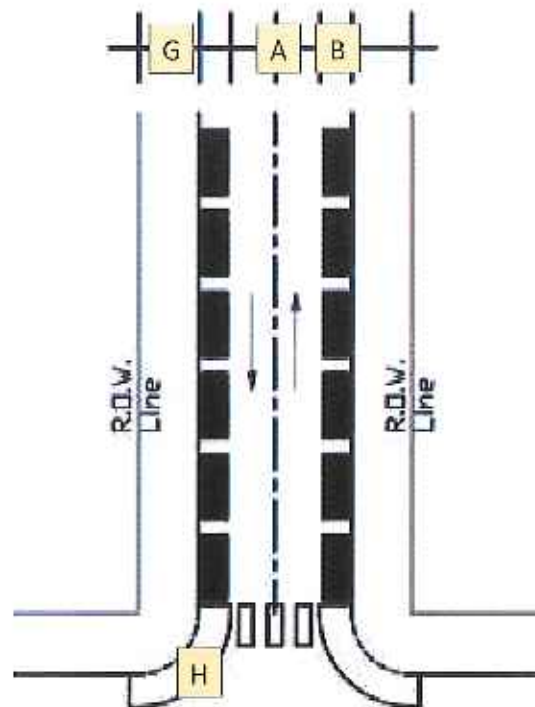
B. Vehicular Network and Street Standards

S-40 STREET STANDARD

1. The S-40 Street Section is designed for the moderate intensity of commercial and multifamily land uses. This street section may be appropriate for townhomes as well as multifamily and commercial uses.
2. Single family driveways are not permitted.



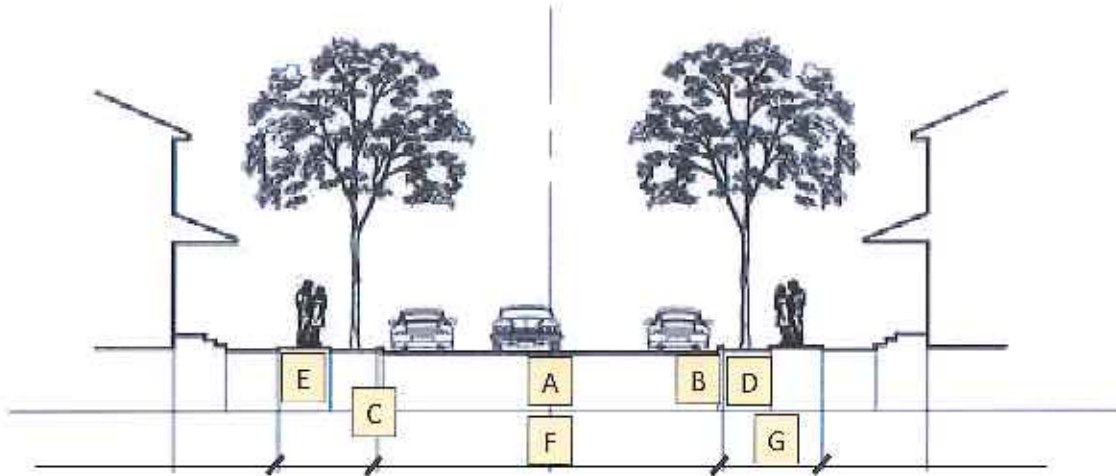
	STANDARD	MINIMUM DIMENSION
	ONE TRAVEL LANE, WIDTH	10'
A	BOTH LANES, WIDTH	20'
B	DEDICATED PARKING LANE	8'
	TYPE OF PARKING	PARALLEL
C	CURB WIDTH, MINIMUM	0.5'
D	TREE WELL/PARKWAY WIDTH	4'
E	SIDEWALK MINIMUM WIDTH	6'
F	MIN B-B STREET WIDTH	37'
G	MIN STREETSCAPE WIDTH	10'
	MIN ROW WIDTH	57'
H	MIN CURB RADIUS	15' - 25'
	MIN INTERSECTION SPACING	100'
	MIN SINGLE FAMILY DRIVEWAY SPACING	NOT PERMITTED



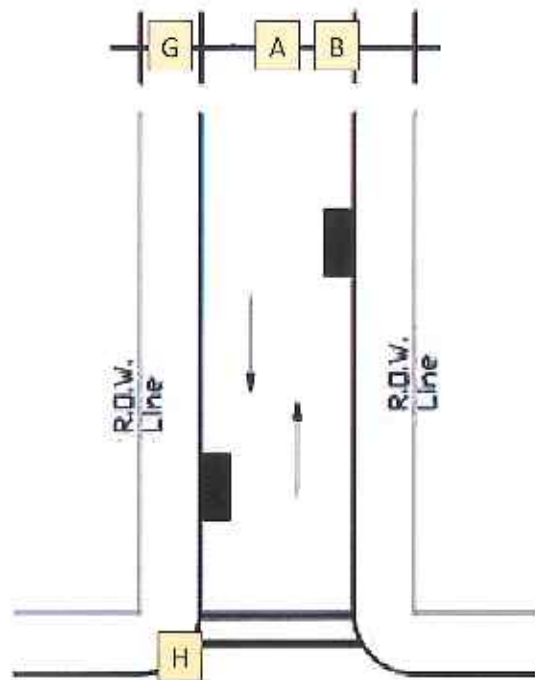
B. Vehicular Network and Street Standards

S-30 STREET STANDARD

1. The S-30 Street Section is designed for use as the Primary Streets.
2. The street section allows for more efficient traffic flow allowing limited single family driveway access.
3. The wider section also provides space for cyclists to be passed by vehicles.
4. Intermittent parking is defined in Article II, Section C *Parking*.



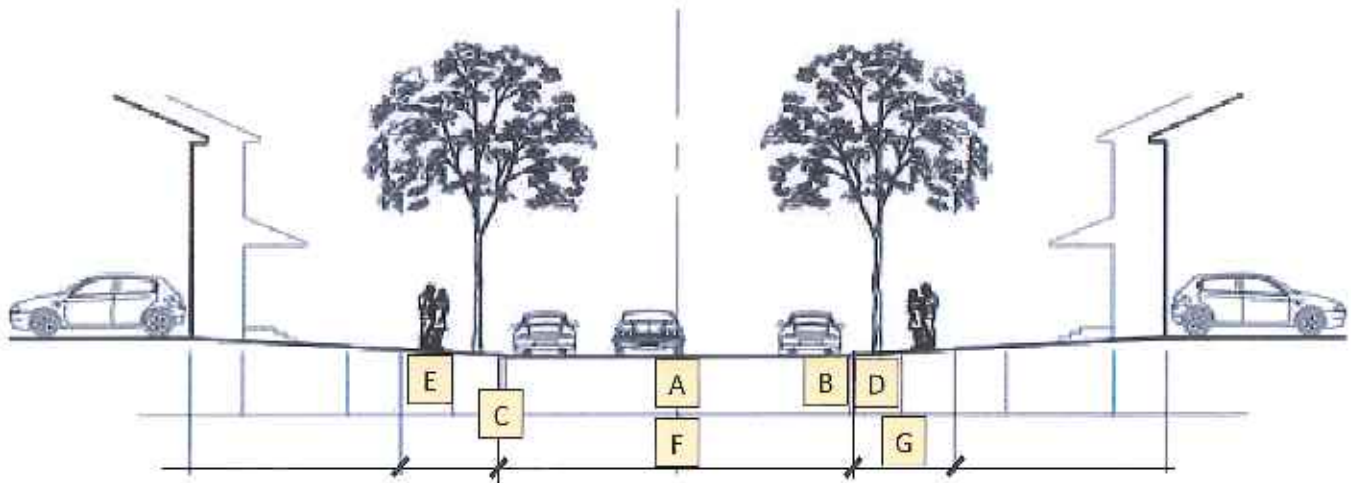
	STANDARD	MINIMUM DIMENSION
	ONE TRAVEL LANE, WIDTH	15'
A	BOTH LANES, WIDTH	30'
B	DEDICATED PARKING LANE	NONE
	TYPE OF PARKING	INTERMITTENT
C	CURB WIDTH, MINIMUM	0.5'
D	TREE WELL/PARKWAY WIDTH	4'
E	SIDEWALK MINIMUM WIDTH	5'
F	MIN B-B STREET WIDTH	31'
G	MIN STREETScape WIDTH	9'
	MIN ROW WIDTH	49'
H	MIN CURB RADIUS	15' - 25'
	MIN INTERSECTION SPACING	100'
	MIN SINGLE FAMILY DRIVEWAY SPACING	5'



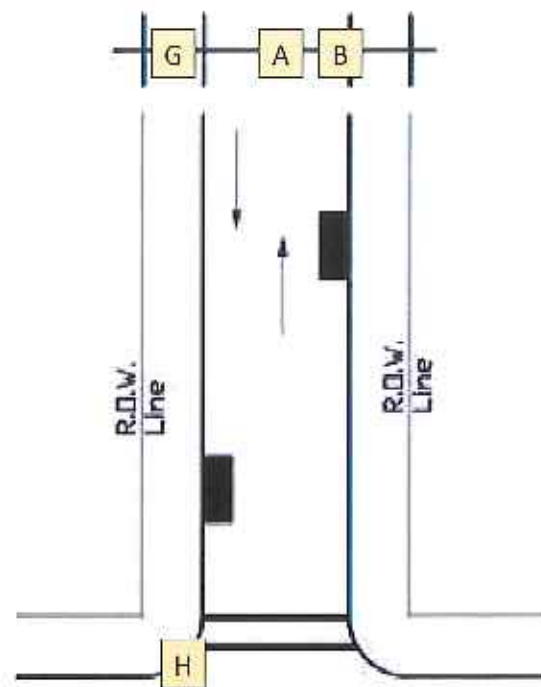
B. Vehicular Network and Street Standards

S-25 STREET STANDARD

1. The S-25 Street Section is designed for use as a 2-way street section serving SF-5 lots with driveway access from the street. Streets may use the rolled curb to allow drive-ways to connect to the street without curb cuts.
2. Intermittent parking is defined in Article II, Section C *Parking*.



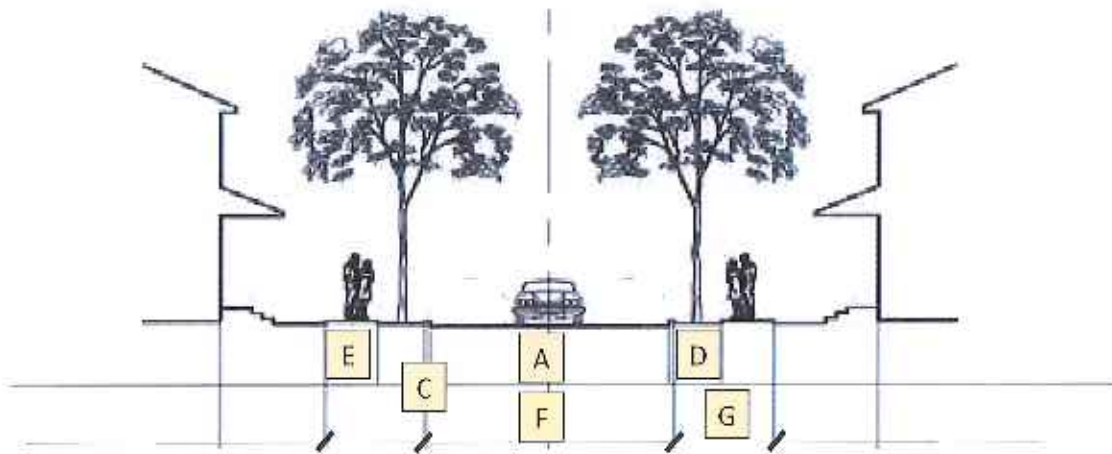
	STANDARD	MINIMUM DIMENSION
	ONE TRAVEL LANE, WIDTH	12'
A	BOTH LANES, WIDTH	24'
B	DEDICATED PARKING LANE	NONE
	TYPE OF PARKING	INTERMITTENT
C	CURB WIDTH, MINIMUM	0.5'
D	TREE WELL/PARKWAY WIDTH	5'
E	SIDEWALK MINIMUM WIDTH	5'
F	MIN B-B STREET WIDTH	25'
G	MIN STREETScape WIDTH	9'
	MIN ROW WIDTH	43'
H	MIN CURB RADIUS	15'
	MIN INTERSECTION SPACING	100'
	MIN DRIVEWAY SPACING	5'



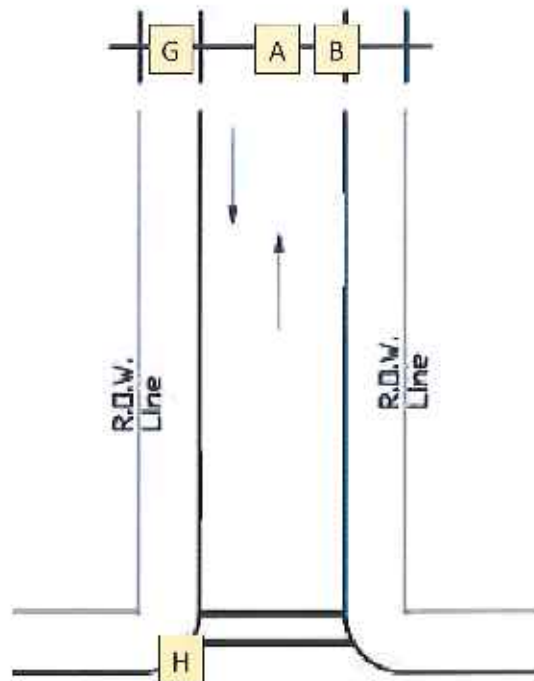
B. Vehicular Network and Street Standards

S-20 STREET STANDARD

1. The S-22 Street Section is designed for use as a 2-way street section serving the residential neighborhoods.
2. Intermittent on-street parking may be limited.
3. Intermittent parking is defined in Article II, Section C *Parking*.



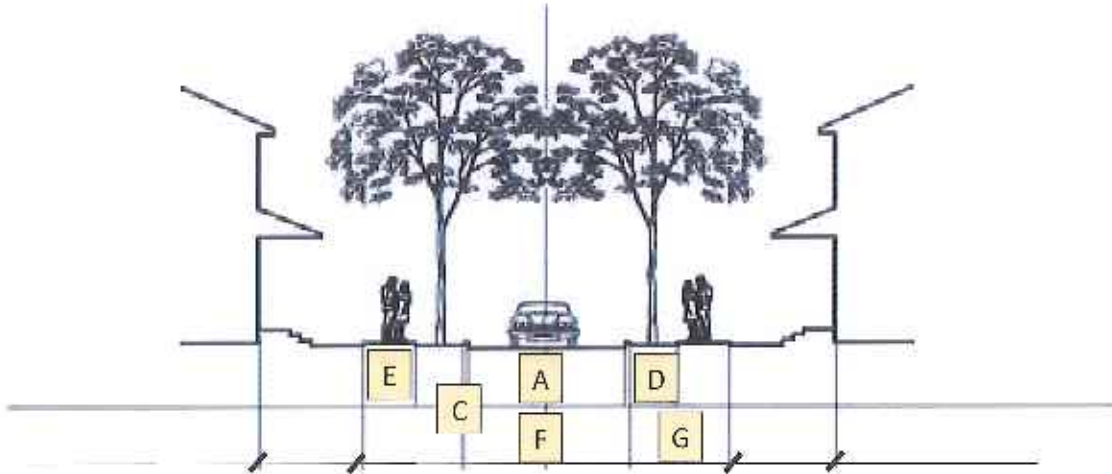
	STANDARD	MINIMUM DIMENSION
	ONE TRAVEL LANE, WIDTH	10'
A	BOTH LANES, WIDTH	20'
	DEDICATED PARKING LANE	NONE
	TYPE OF PARKING	INTERMITTENT
C	CURB WIDTH, MINIMUM	0.5'
D	TREE WELL/PARKWAY WIDTH	5'
E	SIDEWALK MINIMUM WIDTH	5'
F	MIN B-B STREET WIDTH	21'
G	MIN STREETScape WIDTH	9'
	MIN ROW WIDTH	39'
H	MIN CURB RADIUS	15' - 25'
	MIN INTERSECTION SPACING	100'
	MIN DRIVEWAY SPACING	5'



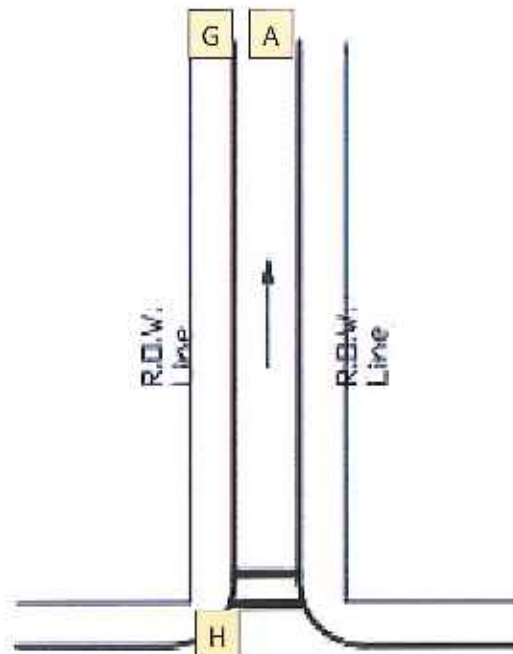
B. Vehicular Network and Street Standards

S-15 STREET STANDARD

1. The S-15 Street Section is designed for use as the a 1-way street section.
2. Two 1-way street sections may be combined to create a two-way boulevard with a median.
3. Intermittent parking is defined in Article II, Section C *Parking*.



	STANDARD	MINIMUM DIMENSION
A	ONE TRAVEL LANE, WIDTH	15'
	BOTH LANES, WIDTH	NA
	DEDICATED PARKING LANE	NONE
	TYPE OF PARKING	NONE
C	CURB WIDTH, MINIMUM	0.5'
D	TREE WELL/PARKWAY WIDTH	5'
E	SIDEWALK MINIMUM WIDTH	5'
F	MIN B-B STREET WIDTH	16'
G	MIN STREETScape WIDTH	9'
	MIN ROW WIDTH	34'
H	MIN CURB RADIUS	15' - 25'
	MIN INTERSECTION SPACING	100'
	MIN DRIVEWAY SPACING	3'

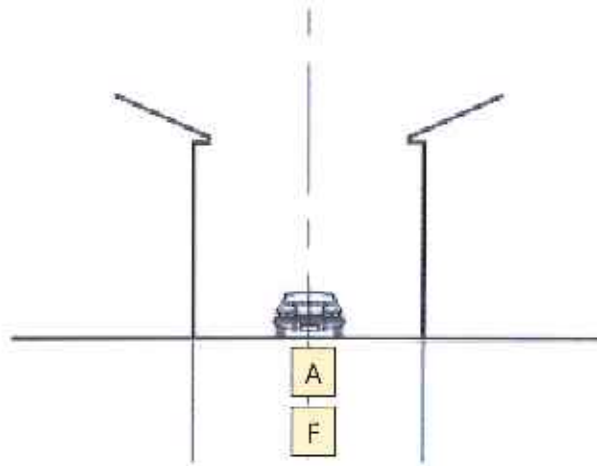


B. Vehicular Network and Street Standards

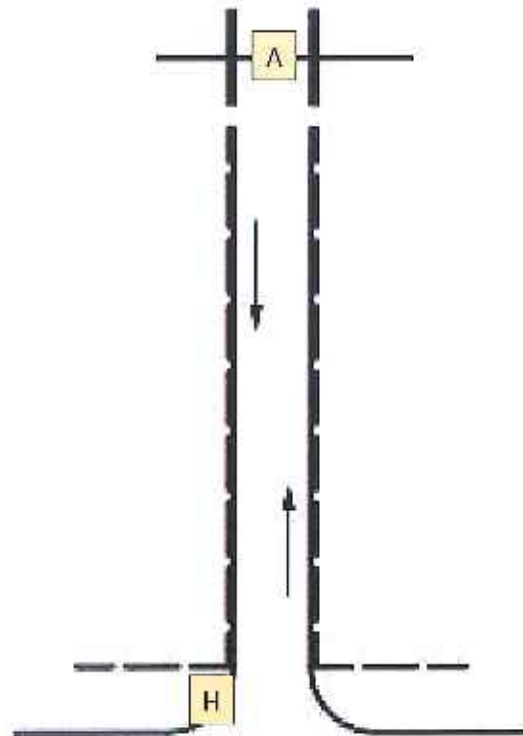
A-20 ALLEY STANDARD

1. The A-20 Alley Section is designed for use as the mini-

mum commercial alley serving commercial uses.



	STANDARD	MINIMUM DIMENSION
	ONE TRAVEL LANE, WIDTH	
A	BOTH LANES, WIDTH	15'
	PARKING LANE	NONE
	DEDICATED PARKING LANE	NONE
	CURB WIDTH, MINIMUM	0'
	TREE WELL/PARKWAY WIDTH	0'
	SIDEWALK MINIMUM WIDTH	NA
F	MIN B-B STREET WIDTH	15'
	MIN STREETScape WIDTH	NA
	MIN ROW WIDTH	15'
H	MIN CURB RADIUS	15' - 25'
	MIN INTERSECTION SPACING	100'
	MIN DRIVEWAY SPACING	NO MIN

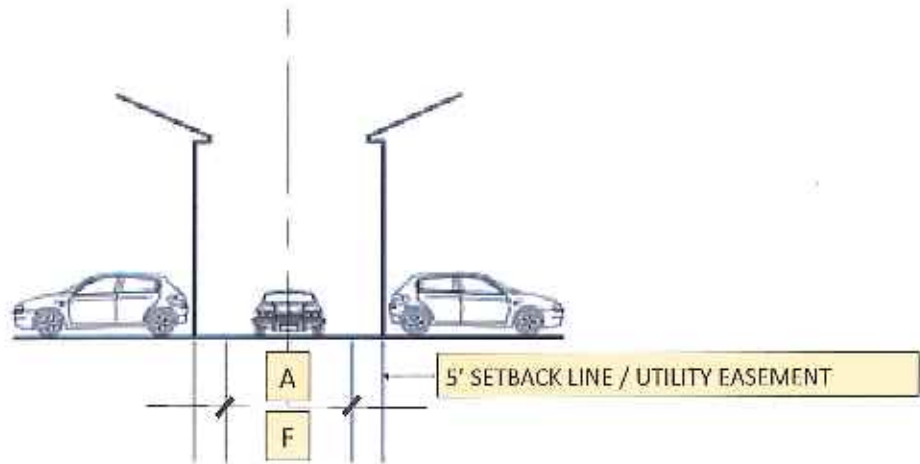


B. Vehicular Network and Street Standards

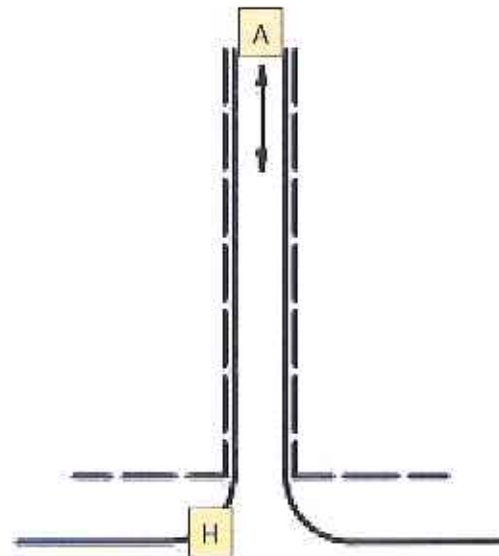
A-12 ALLEY STANDARD

1. The A-12 Alley Section is designed for use as a residential alley serving single family lots.
2. The 12' width works as a 2-way alley provided the alley

serves only a limited number of dwellings. If the alley serves more than 65 lots between intersections, it shall be increased by 3' in width.



	STANDARD	MINIMUM DIMENSION
	ONE TRAVEL LANE, WIDTH	12'
A	BOTH LANES, WIDTH	12'
	DEDICATED PARKING LANE	NONE
	TYPE OF PARKING	NONE
	CURB WIDTH, MINIMUM	0'
	TREE WELL/PARKWAY WIDTH	0'
	TREE SPACING	NA
	SIDEWALK MINIMUM WIDTH	NA
F	MIN B-B STREET WIDTH	12'
	MIN STREETSCAPE WIDTH	NA
	MIN ROW WIDTH	12'
H	MIN CURB RADIUS	15' - 25'
	MIN INTERSECTION SPACING	100'
	MIN DRIVEWAY SPACING	NO MIN



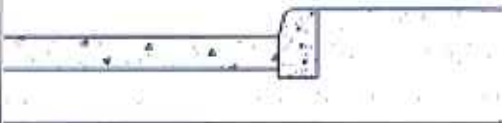
B. Vehicular Network and Street Standards

CURBS

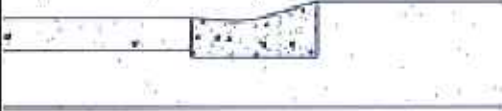
1. The following types of curbs may be used as appropriate, provided they comply with traffic safety standards.
2. Exact dimensions of the curb sections shall be provided in final construction documents.
3. Table B1 indicates permissible use of the curb types.

STANDARD CURB

Standard curb for use with storm sewer and infrequent curb cuts, typical of an urban street pattern.

**ROLLED CURB**

Rolled curb for use with storm sewer and frequent driveway curb cuts, indicating a more suburban character.

**FLAT CURB**

Flat curb for use with bollards and sidewalks for a modern urban appearance.

**INVERTED CROWN**

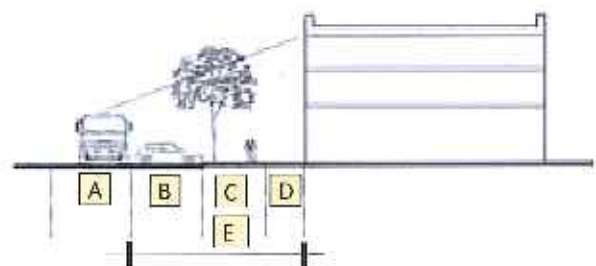
The Inverted Crown allow the collection of storm water in the center of the roadway rather than the curbs.



Figure B3: Curb Types

FIRE SAFETY

1. All Neighborhoods shall have a minimum of two approved fire apparatus access roads where possible. Some Neighborhoods cannot comply with Sections D104.3, D106.3, and D107.2 of Appendix D of the International Fire Code (IFC) which requires 2 access roads "placed a distance apart equal to one half of the length of the maximum overall diagonal dimension of the lot or area to be served."
2. In the Neighborhoods where compliance is difficult, unfeasible, or impossible, the Neighborhoods shall include two access points separated by not less than 100 feet and configured as a loop through the Neighborhood.
3. Dead-end streets shall comply with the IFC turn-around standards. See Figure B3.
4. Although any Lot Type may front onto any Street Type or qualified Open Space, buildings greater than 2-stories or 30' in height may not be separated from the adjacent fire apparatus lane by more than 60 feet without the approval of the Fire Marshall. See Figure B3.
5. Buildings in excess of 30' in height will require fire lanes to be a minimum of 26' in width unless an exception is made by the Fire Marshall pursuant to provision of sprinklers or a sidewalk supporting the weight of the fire apparatus.
6. Deviations from the IFC may be approved by the Fire Marshall having jurisdiction.



A	Fire Lane
B	Parking Lane
C	Streetscape / Linear Park
D	Setback
E	Maximum distance from Fire Lane, 60'

Figure B4: Maxim distance to Fire Lane

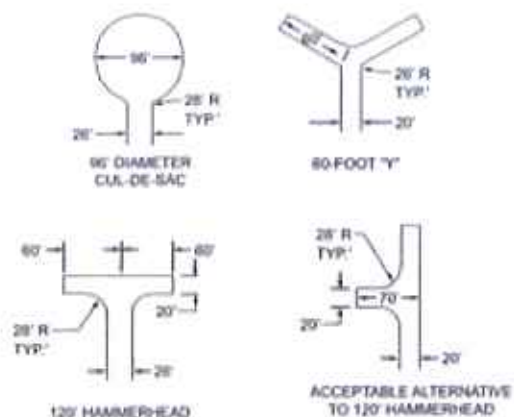
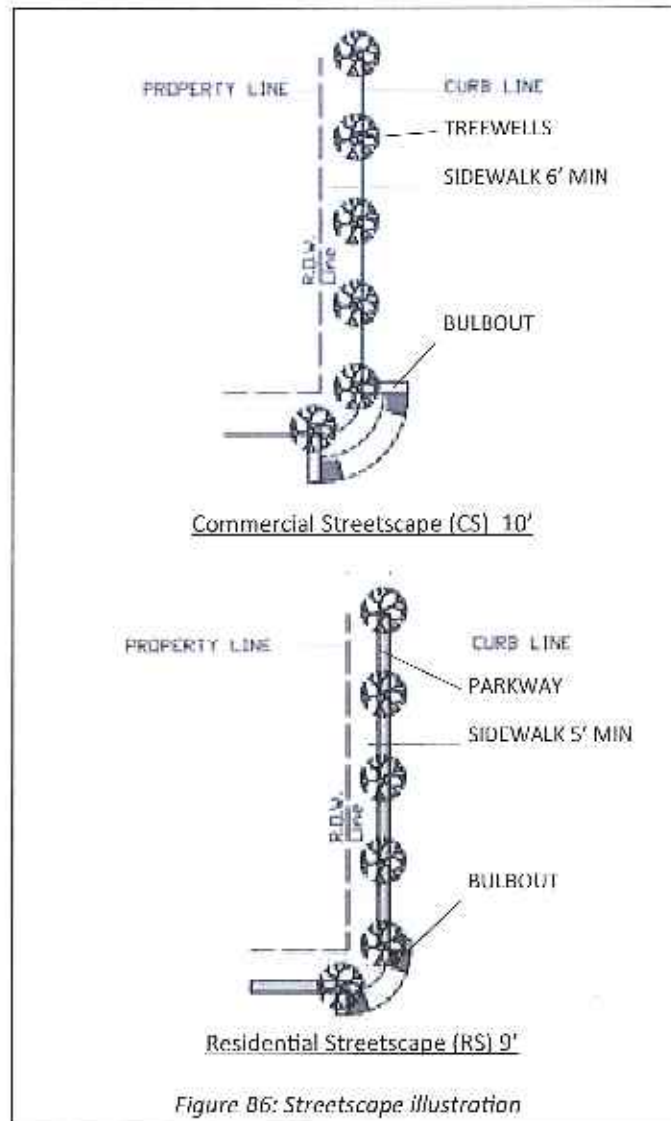


Figure B5: Cul-de-sac Turnaround Types

B. Vehicular Network and Street Standards

STREETSCAPE

1. The Streetscape, as used in this document, is the space between the street curb and the private lot line. It establishes the transition between the street and the private lots and can define the character of the neighborhood.
2. The commercial streetscape is primarily used in the Village Center and may be used in the denser multi-family portions of the development.
3. Residential streets consisting primarily of single family lots shall require a sidewalk on at least one side of the street. Street fronting multifamily and commercial occupancies shall have sidewalks on both sides of the street.
4. Where a street is located adjacent to a qualified open space, the streetscape may be omitted.
5. Trees shall be located approximately 2 to 3 feet behind the curb approximately 45' on center, but spacing may be adjusted up to 30% in accordance with the adjacent lot type, obstructions, utilities, signage, visibility angles and other requirements.
6. Continuous parkways shall be not less than 4' in width.
7. Treewells shall be not less than 4' wide by 4' long.
8. Bulbouts are optional extensions of the sidewalk to wrap the on-street parking at intersections. They are recommended but not required at S-60 and S-40 intersections.
9. Notes on Figure B6
 - a. The indicated Streetscape width is the minimum width;
 - b. The sidewalk width indicates the clear path of travel.



C. Parking Standards

1. The parking demand in Harvest shall be primarily residential and commercial demand for parking shall be substantially from community residents. Consequently, commercial parking ratios may be reduced from standard municipal ratios.
2. On-street angled parking (S-60 street) and parallel parking (S-40 street) shall count toward minimum parking requirements.
3. Intermittent parking is on-street parking without a dedicated parking lane for use on streets where off-street parking has satisfied the required parking.
4. Intermittent on-street parking shall not count toward minimum parking requirements.
5. On-street parking shall be available for multifamily and commercial occupancies and may be supplemented by off-street parking lots.
6. Off-street parking lots shall not be located between a building the adjacent streetscape frontage. Exceptions to this rule shall include occupancies that require drive-up access to the building such as a day care facility, package/postal deliver and pickup, or banks. Such exceptions are limited to a maximum of 15,000 SF of enclosed, ground floor building area.
7. Dimensions of parking lot spaces shall be a minimum of 9' x 18'.
8. On-street parking spaces shall be a minimum of 8' x 22' for parallel parking and 9' x 18' for angled-in parking spaces. See Figure C1.
9. Intermittent on-street parking shall be permitted but may be restricted for narrow or single-loaded streets.
10. Parking lots shall provide snow removal storage areas as well as visual curb markers in accordance with standard practice.
11. Snow removal for streets shall use the available streetscape for snow storage.
12. The Hotel shall provide 1 parking space per room.
13. Parking lots shall provide a minimum of 1 tree for every 15 parking spaces.

TABLE C1: MINIMUM PARKING STANDARDS

LAND USE	PARKING RATIO
CM LOT	1 space / 1000 sf of enclosed space
MX LOT	0.5 spaces / 1000 sf of commercial + 1 space / unit
MF-1	1 space / unit
MF-2	1 space / unit
MF-3	1 space / unit
SF-1	2 spaces / unit
SF-2	2 spaces / unit
SF-3	2 spaces / unit
SF-4	2 spaces / unit
SF-5	2 spaces / unit

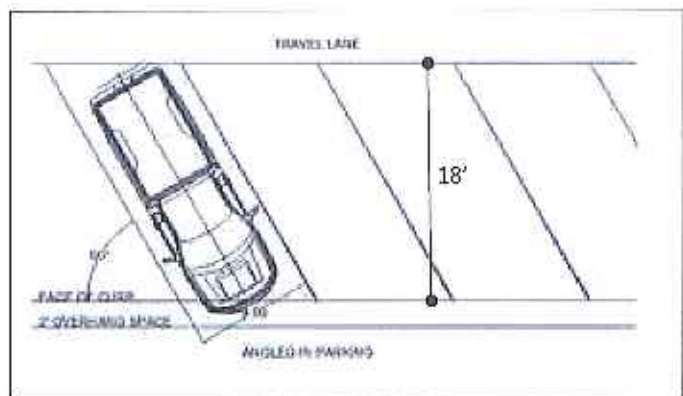
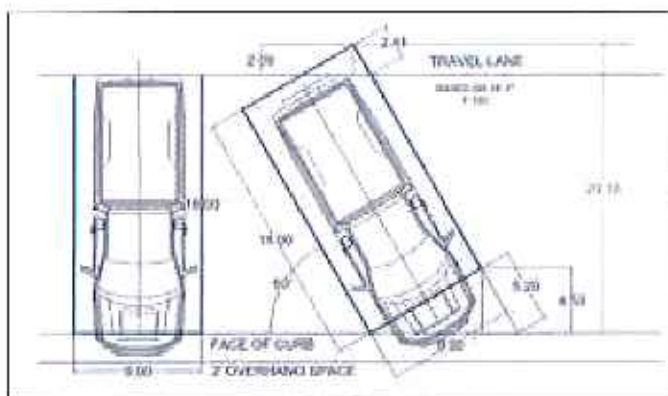
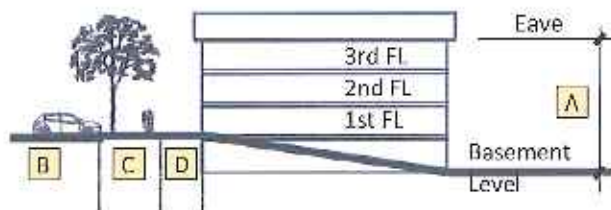


Figure C1 On-Street angled-in Parking Configuration

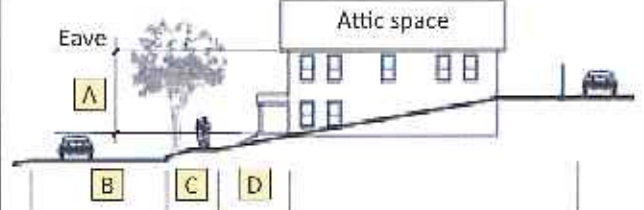
D. Lot Standards

1. The Lot Standards define the permitted land use as well as the minimum dimensional requirements including width, depth, setbacks, and maximum height of the buildings.
2. The Lot types, permitted or prohibited, in each neighborhood, determine the character and density of the neighborhood.
3. Maximum height shall be established in both stories and in feet.
4. All buildings shall be limited to 2 stories except for buildings on CM Lots, MX Lots, and MF-1 Lots which are limited to 3 stories above the highest perimeter grade.
5. Three story buildings may include a story below grade where the topography permits access to both upper and lower levels. The story below grade shall be called the "Basement Level" which shall not exceed 65% of the exterior wall above grade. A three story building shall mean a building not exceeding 3 stories above the highest finished grade around the building perimeter, and may not exceed 55' from finished grade to the bottom of the eave or to bottom of the parapet wall as depicted in Figure C1.
6. **Unless otherwise restricted**, two story buildings may include habitable attic space. The roof eave may not exceed 30' in height as shown in Figure C2.
7. All Lots shall front on streets or on qualified Open Space.
8. Commercial Occupancy shall be limited to CM Lots and MX Lots. Non-commercial occupancy shall include residential dwelling units, ancillary uses such as leasing offices, exercise rooms, mail rooms, meeting rooms, or other similar uses.
9. CM Lots are permitted to include commercial occupancy but no residential occupancy. Commercial occupancy shall include retail, restaurants, or office space.
10. MX Lots are permitted to include a mixture of residential and commercial occupancy.
11. MF Lots include multiple residential dwelling units on a single lot, but may not include an auxiliary dwelling unit.
12. SF Lots are limited to single family dwelling units which may include one auxiliary dwelling unit.
13. Off-street parking between the building and the street frontage is prohibited for Lot types CM, MX, and MF-1.
14. Single Family (SF) lot types, are not required to include enclosed garages. For any SF lots without enclosed garages, the minimum parking requirements may be met with on-street parking using S-60 or S-40 street sections.
15. For alley-loaded single family lots without enclosed garages, the rear setbacks shall be increased to 20' to provide a driveway for at least 2 parking spaces.



A	Maximum height from grade to eave = 55'
B	Street and/or fire lane
C	Streetscape
D	Setback

Figure D1: 3-story Buildings height



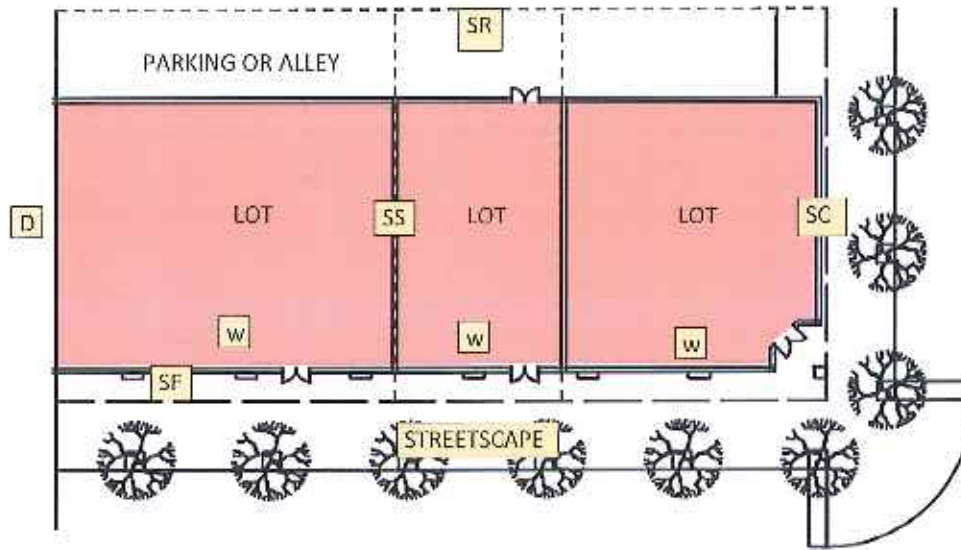
A	Maximum height from grade to eave = 30'
B	Street and/or fire lane
C	Streetscape
D	Setback

Figure D2: 2-story Buildings height

D. Lot Standards

CM LOT STANDARDS

1. CM Lot refers to any non-residential lots, regardless of height, that are used for retail, office or other commercial or civic use.
2. Commercial lots shall be used primarily in the Village neighborhood and the zero setbacks allow the development of a downtown character.
3. To a very limited extent, CM Lots may be used in certain residential neighborhoods. See Table A1 for square footage limits.
4. The rear setback allows for an alley to serve the rear of the buildings.
5. Commercial lots may be developed as a single multi-tenant building or may be multiple buildings with common party walls.
6. The Maximum front set setback may be increased with the addition of a Plaza or Courtyard (OS-10) open space in place of the adjacent streetscape.

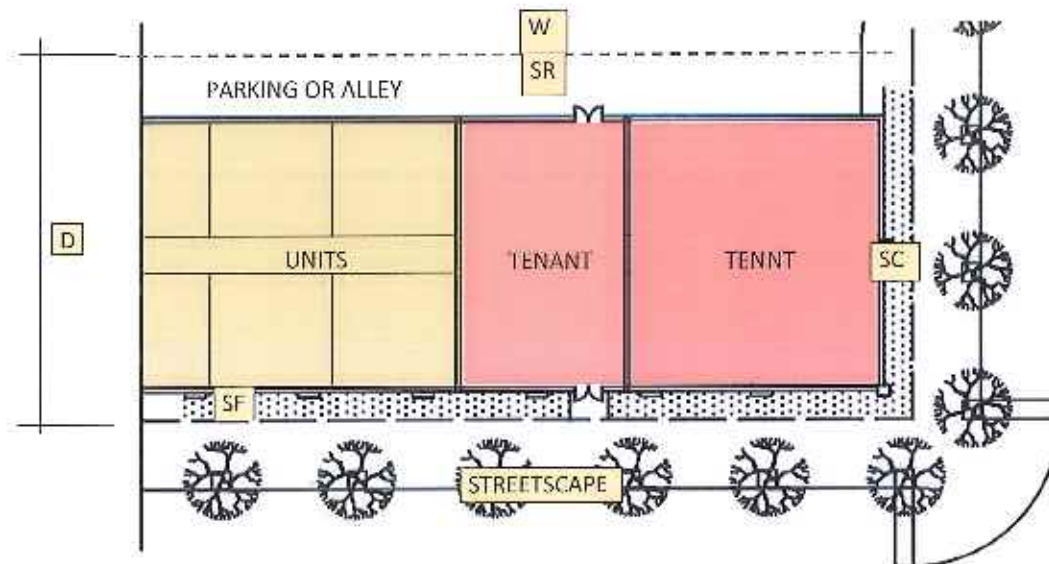


MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT
MAXIMUM HEIGHT		3 Story / 55'	3 Story / 55'
LOT WIDTH	W	20'	20'
LOT DEPTH	D	20'	20'
SETBACKS			
FRONT MINIMUM	SF	0'	0'
FRONT MAXIMUM		8' note	8' note
SIDE	SS	0'	0'
SIDE CORNER MINIMUM	SC	0'	0'
SIDE CORNER MAXIMUM		8'	8'
REAR	SR	10'	10'
GARAGE DOOR, FRONT	SG	Subject to ARC approval	Subject to ARC approval
GARAGE DOOR, REAR	SG	5' from alley	5' from alley
Note: See Article II, C.11 for commercial exceptions allowing front yard parking			

D. Lot Standards

MX LOT STANDARDS

1. MX Lots are lots permitting buildings containing both commercial and residential occupancies. Typically, commercial uses are located on the ground floor with residential units above, but some residential units may be located on the ground floor.
2. MX Lots may be located within the Village Center or some other Neighborhoods providing essential local goods and services. See Table A1 for square footage limits.
3. The accompanying illustration of a mixed-use building is diagrammatic of multistory, mixed-use buildings with residential occupancy above commercial. Although this example is not regulatory, it is intended to illustrate the location of the regulatory setbacks.
4. The maximum front set setback may be increased with the addition of a Plaza or Courtyard (OS-10) open space in place of the adjacent streetscape.

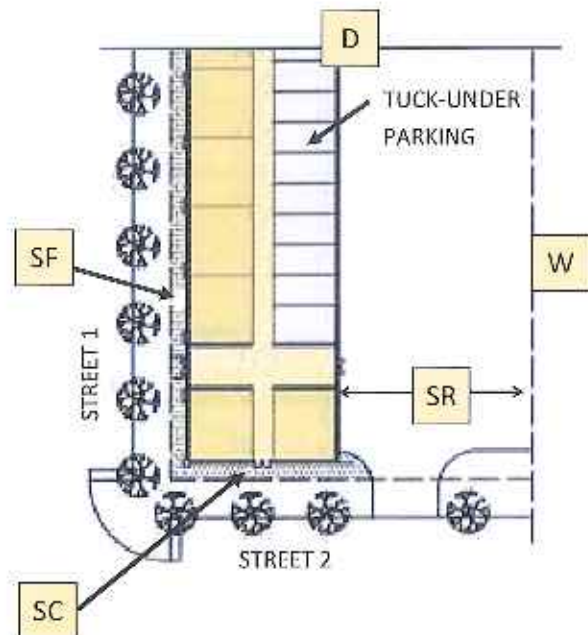
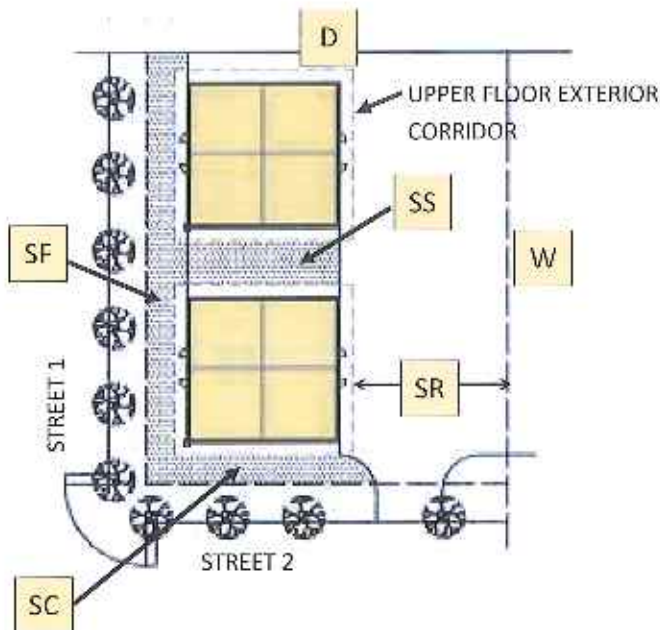


MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT
MAXIMUM HEIGHT		3 Story / 55'	3 Story / 55'
LOT WIDTH	W	20'	20'
LOT DEPTH	D	50'	50'
SETBACKS			
FRONT MINIMUM	SF	5'	5'
FRONT MAXIMUM		15' note	15' note
SIDE	SS	10'	10'
SIDE CORNER MINIMUM	SC	NA	5'
SIDE CORNER MAXIMUM		NA	15'
REAR	SR	10'	10'
GARAGE DOOR, FRONT	SG	Subject to ARC approval	Subject to ARC approval
GARAGE DOOR, REAR	SG	5' from alley	5' from alley
Note: See Article II, C.11 for commercial exceptions allowing front yard parking			

D. Lot Standards

MF-1 LOT STANDARDS

1. MF-1 Lots are lots that permit buildings in which dwelling units may be stacked vertically. Dwelling units may be accessed via interior corridors, exterior corridors, or common stairways. Illustrative examples below are provided but are not regulatory.
2. MF-1 Lots may include non-residential/non-commercial uses which are ancillary to the primary use, such as fitness rooms, lobbies, rental office, mail room, or meeting rooms.
3. Covered parking may be provided on the ground floor within the building envelope.
4. Examples below depict a building with interior corridors and tuck-under parking on the ground floor and buildings with exterior corridors which provide access to upper floors.
5. The maximum front set setback may be increased with the addition of a Plaza or Courtyard (OS-10) open space in place of the adjacent streetscape.

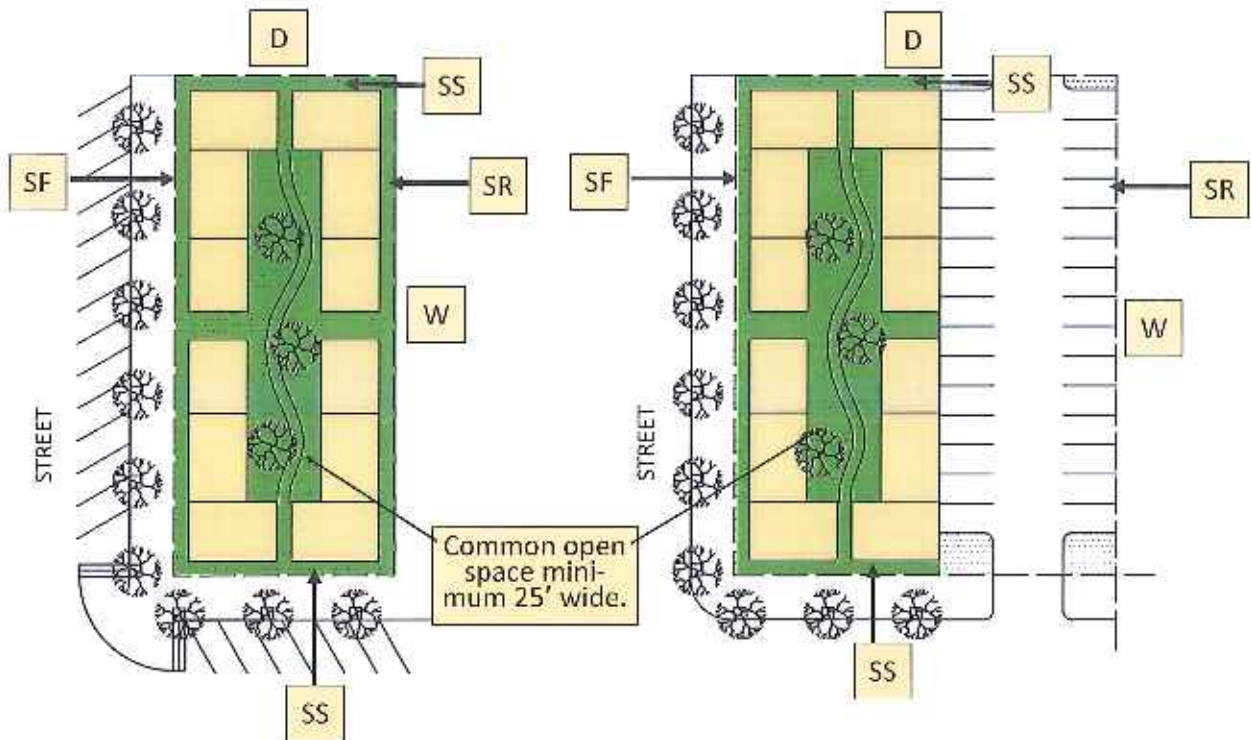


MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT
MAXIMUM HEIGHT		3 Story / 55'	3 Story / 55'
LOT WIDTH	W	60'	60'
LOT DEPTH	D	80'	80'
SETBACKS			
FRONT MINIMUM	SF	5'	5'
FRONT MAXIMUM		20'	20'
SIDE	SS	10'	10'
SIDE CORNER MINIMUM	SC	NA	5'
SIDE CORNER MAXIMUM		NA	20'
REAR	SR	10'	10'
GARAGE DOOR, FRONT	SG	Subject to ARC approval	Subject to ARC approval
GARAGE DOOR, REAR	SG	5' from alley	5' from alley

D. Lot Standards

MF-2 LOT Standard

1. Bungalow Courts: Attached units on a common lot that are accessible from a sidewalk.
2. Common parking lots, garages and carports are permitted.
3. A common open space of 100 square feet minimum per dwelling unit shall be provided and shall be accessible from all units.
4. The examples depict a plan using on-street parking to satisfy the parking requirement and a plan using a private common parking lot on the MF-2 lot.



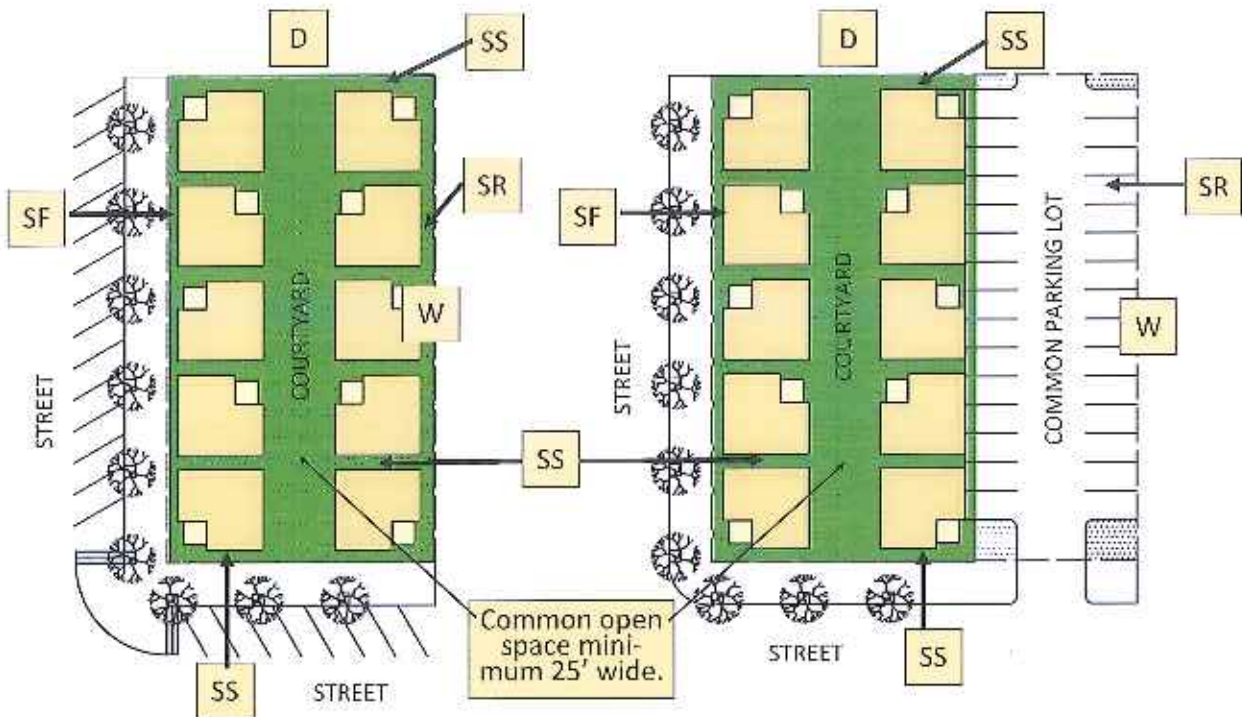
MINIMUM DIMENSION		MID-BLOCK LOT
MAXIMUM HEIGHT		2 Story / 30'
LOT WIDTH	W	60'
LOT DEPTH	D	60'
SETBACKS		
FRONT	SF	5'
SIDE	SS	5'
REAR	SR	5'
GARAGE DOOR, FRONT	SG	Subject to ARC approval
GARAGE DOOR, REAR	SG	5' from alley



D. Lot Standards

MF-3 LOT Standard

1. Cottages: Detached dwelling units on a common lot that are accessible from the sidewalk.
2. A common open space of 100 square feet minimum per dwelling unit shall be provided and shall be accessible from all units.
3. Common parking lots, garages and carports are permitted.
4. The examples depict a plan using on-street parking to satisfy the parking requirement and a plan using a private common parking lot on the MF-3 lot.
5. Manufactured Homes also known as "Mobile Homes" complying with the Federal HUD definition shall not be permitted within Harvest.
6. Small homes, manufactured off-site and delivered either as components or as completed homes and secured directly onto a full perimeter concrete foundation, shall be permitted.

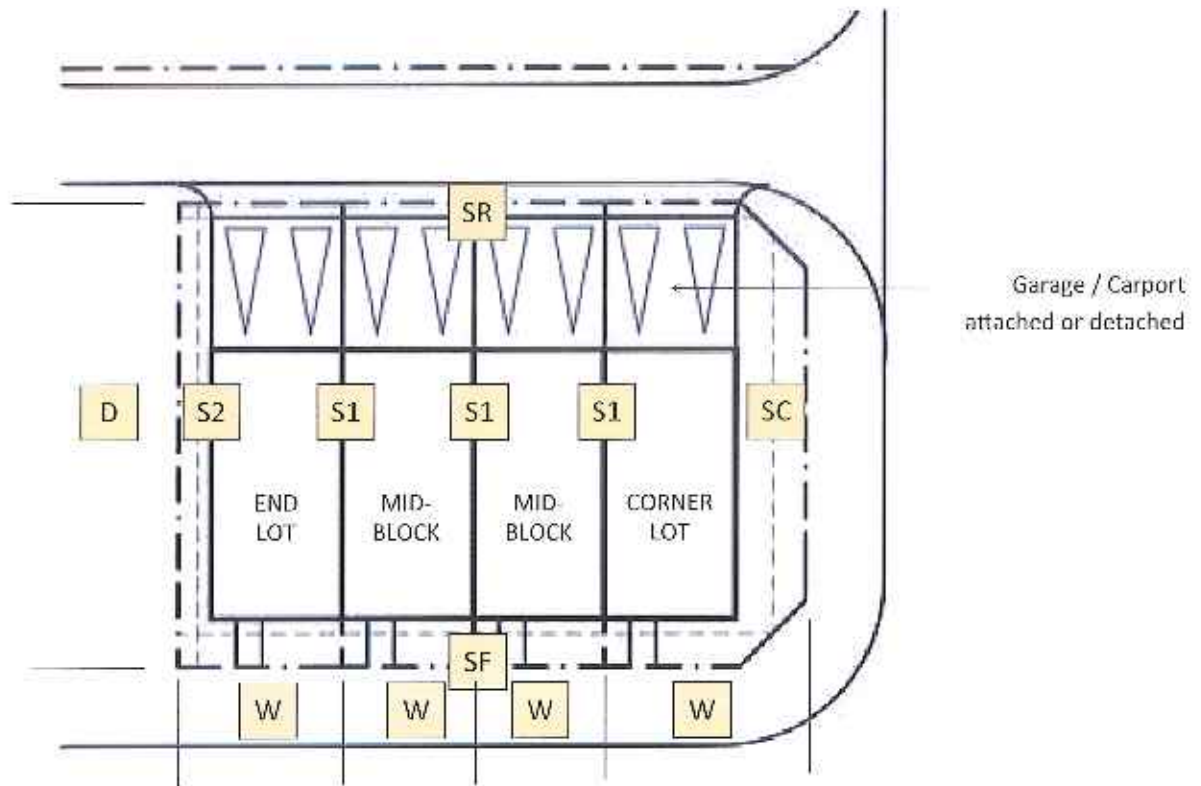


MINIMUM DIMENSION		MID-BLOCK LOT
MAXIMUM HEIGHT		2 Story / 30'
LOT WIDTH	W	60'
LOT DEPTH	D	60'
SETBACKS		
FRONT	SF	5'
SIDE	SS	5'
REAR	SR	5'
GARAGE DOOR, FRONT	SG	Not Permitted
GARAGE DOOR, REAR	SG	5' from alley



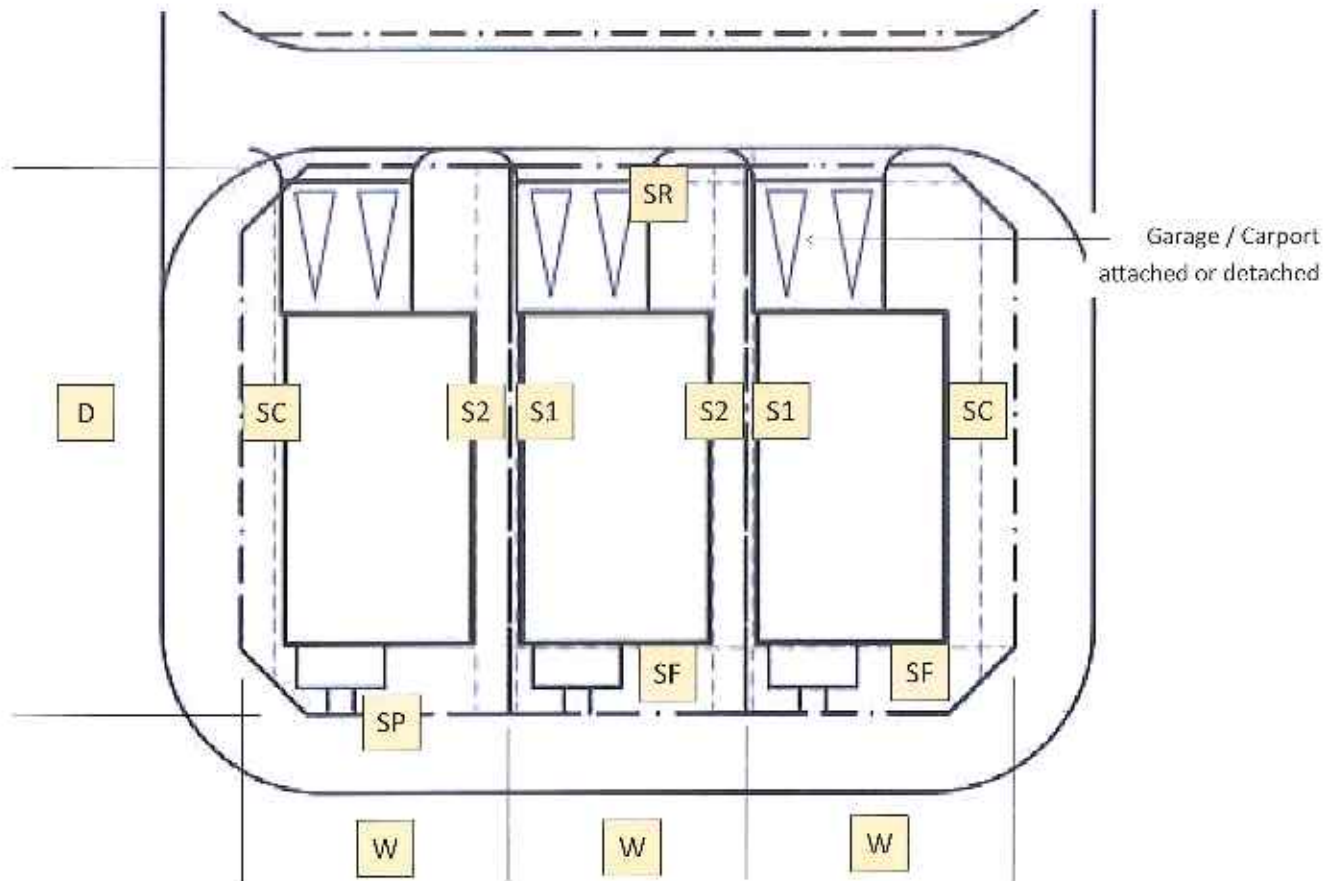
D. Lot Standards

TOWNHOME LOTS - WITH ALLEYS SF-1



MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT	END LOT
MAXIMUM HEIGHT		30'	30'	30'
LOT WIDTH	W	20'	30'	25'
LOT DEPTH	D	65'	65'	65'
SETBACKS				
FRONT	SF	5'	5'	5'
SIDE 1	S1	0'	0'	0'
SIDE 2	S2	NA	NA	3'
SIDE CORNER	SC	NA	5'	NA
REAR WITH GARAGE	SR	5'	5'	5'
REAR WITHOUT GARAGE	SR	20'	20'	20'
GARAGE DOOR, FRONT		NOT PERMITTED		
FRONT PORCH (OPTIONAL)	SP	2'	2'	2'

D. Lot Standards

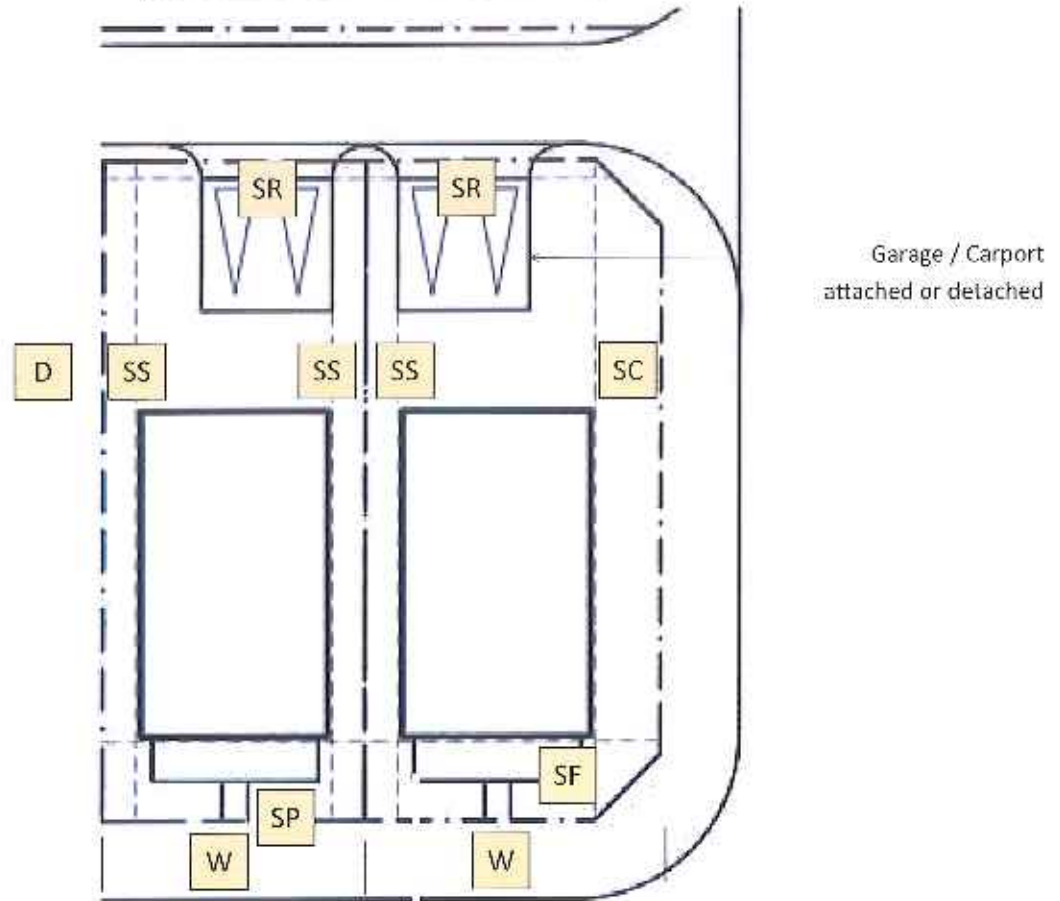
ZERO LOTLINE LOTS - WITH ALLEYS SF-2

MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT
MAXIMUM HEIGHT		30'	30'
LOT WIDTH	W	30'	35'
LOT DEPTH	D	75'	75'
SETBACKS			
FRONT	SF	7'	7'
SIDE 1	S1	1'	1'/5'
SIDE 2	S2	5'	NA
SIDE CORNER	SC	NA	5'
REAR WITH GARAGE	SR	5'	5'
REAR WITHOUT GARAGE	SR	20'	20'
GARAGE DOOR, FRONT		NOT PERMITTED	
FRONT PORCH (OPTIONAL)	SP	2'	2'

Where drainage between lots requires more than the 6' provided, the engineering plans shall indicate so on the final plat.

D. Lot Standards

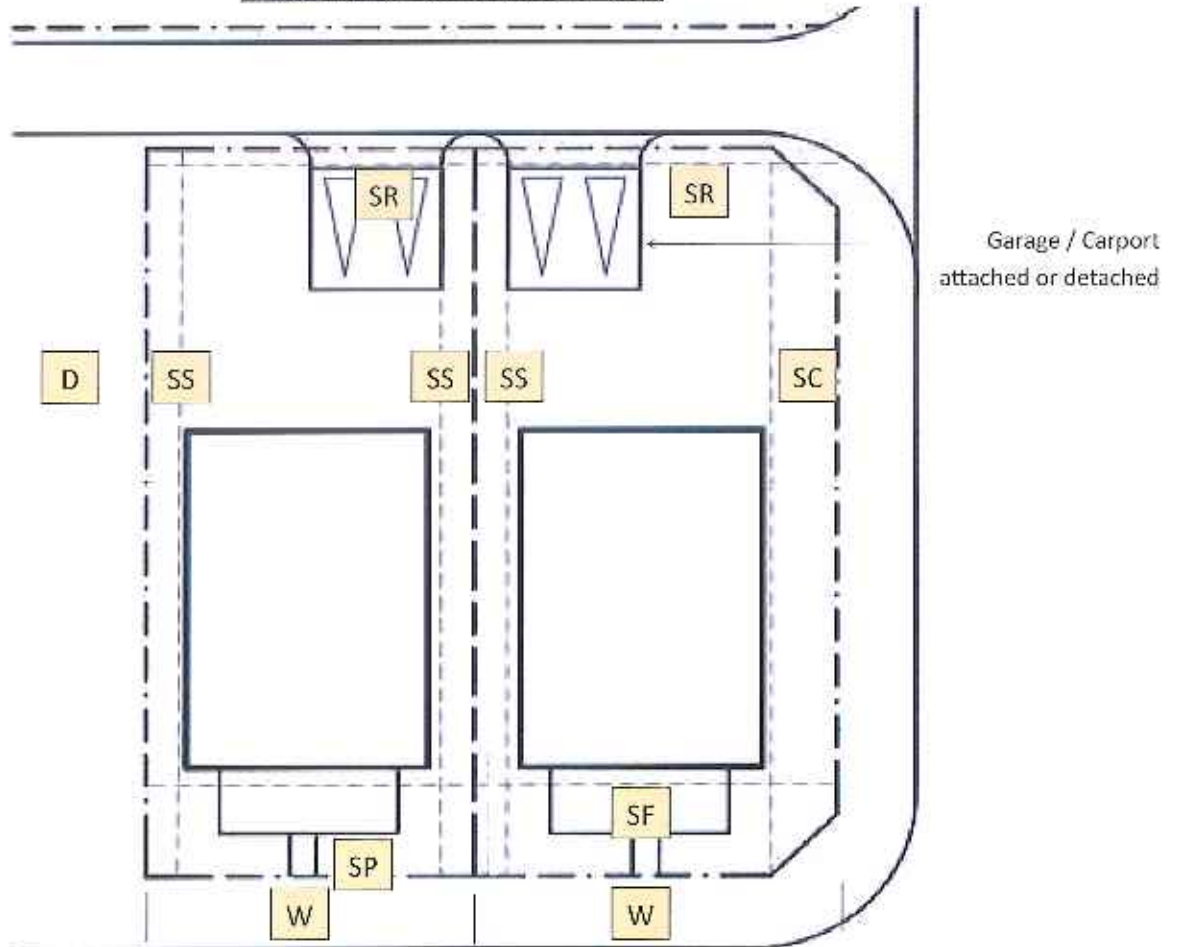
MID-SIZE LOTS - WITH ALLEYS SF-3



MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT
MAXIMUM HEIGHT		30'	30'
LOT WIDTH	W	40'	45'
LOT DEPTH	D	85'	85'
SETBACKS			
FRONT	SF	10'	10'
SIDE	SS	5'	5'
SIDE CORNER	SC	NA	5'
REAR WITH GARAGE	SR	5'	5'
REAR WITHOUT GARAGE	SR	20'	20'
GARAGE DOOR, FRONT		NOT PERMITTED	
FRONT PORCH (OPTIONAL)	SP	3'	3'

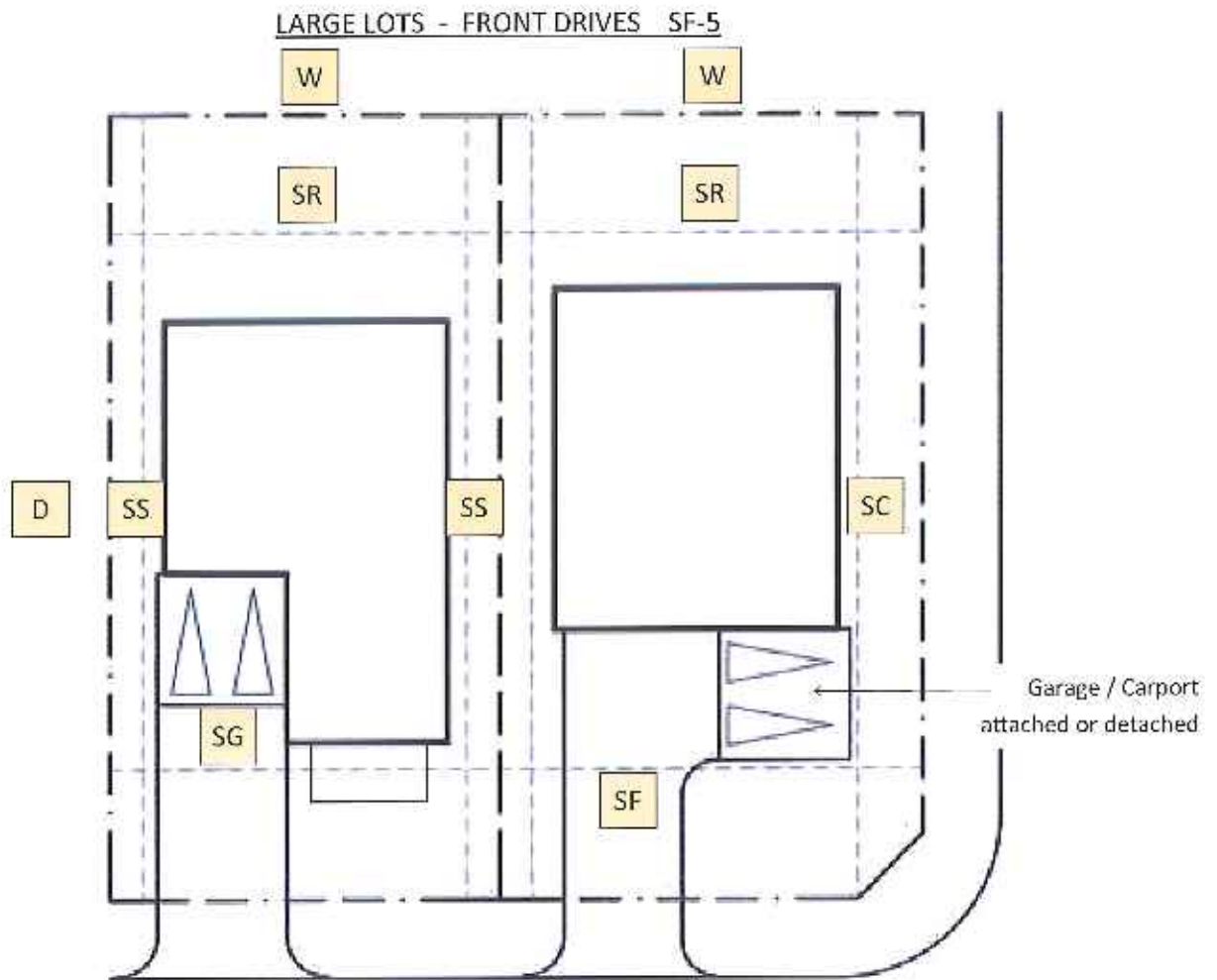
D. Lot Standards

LARGE LOTS - WITH ALLEYS SF-4



MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT
MAXIMUM HEIGHT		30'	30'
LOT WIDTH	W	45'	50'
LOT DEPTH	D	95'	95'
SETBACKS			
FRONT	SF	12'	12'
SIDE	SS	5'	5'
SIDE CORNER	SC	NA	5'
REAR WITH GARAGE	SR	5'	5'
REAR WITHOUT GARAGE	SR	20'	20'
GARAGE DOOR, FRONT		NOT PERMITTED	
FRONT PORCH (OPTIONAL)	SP	5'	5'

D. Lot Standards



MINIMUM DIMENSION		MID-BLOCK LOT	CORNER LOT	J-DRIVE LOT
MAXIMUM HEIGHT		30'	30'	30'
LOT WIDTH	W	45'	50'	55'
LOT DEPTH	D	100'	100'	100'
SETBACKS				
FRONT	SF	15'	15'	15'
SIDE	SS	5'	NA	5'
SIDE CORNER	SC	NA	5'	5'
REAR	SR	10'	10'	10'
GARAGE DOOR, FRONT	SG	20'	20'	NA
FRONT PORCH (OPTIONAL)	SP	8'	8'	NA

E. Open Space Standards

PARKS AND OPEN SPACE

1. The open spaces within Harvest are organized by types of open spaces which serve various purposes. Broadly defined, open spaces may serve as buffers, greenbelts, recreation areas, and/or habitat. The open space types are listed in Table E1 defining the minimum standards for a Qualified Open Space. Open Spaces include the existing easements.
2. Community Open Spaces include the open spaces that span across multiple neighborhoods and constitute the community open space network. These spaces primarily serve to act as buffers and provide areas of natural habitat around and between the neighborhoods.
3. Neighborhood Open Spaces include the public open spaces for people to gather and enjoy passive recreation as well as informal games and pastimes. These spaces are not shown in Figure E1, but the minimum requirement for each type of open space is indicated in Table E1, and the requirement for each neighborhood is indicated in Table E2.
4. No additional parking shall be required for any open space.
5. OS-1: The existing conservation easement consists of approximately 54 acres preserved as wildlife habitat.
6. OS-2: The park includes the banks of Cattle Creek and is not included within the Conservation Easement. **Protection of the riparian habitat shall be coordinated with the RFC.**
7. OS-3: The Frontage Buffer lies between the Community and State Highway 82, to provide a natural separation and allow for the accommodation of the slope.
8. OS-4: The East RFTA Buffer lies on the east side of the RFTA trail through the North Frontage and The Farm neighborhoods.
9. OS-5: The West RFTA Buffer lies on the west side of the RFTA trail and extends the entire length of the Community.
10. OS-6: The Glenwood Ditch is a greenbelt carrying water in both an open trench and enclosed pipe. It also serves as a wildlife habitat and a buffer between neighborhoods.
11. OS-7: The Wildlife Buffer lies between the Conservation Easement and the rest of the Harvest Community. It varies in width and provides a landscaped green screen between the conservation land the developed land. **OS-7 restricts public access to the Conservation Easement and no paving shall be permitted within the Wildlife Buffer.**
12. OS-8: Central Parks serve as a primary focus and gathering space for some of the larger neighborhoods. The space includes a turf area suitable for gatherings.
13. OS-9: Pocket parks are freestanding public open spaces within neighborhoods to provide a local area

		MIN WIDTH	MIN AREA (AC)	MAX SLOPE (measured over 50' min)	TREES	IRRIGATION	PAVING	GROUND COVER	FURNISHINGS	LIGHTING
Community Open Spaces										
OS-1	Conservation Easement	NA	54.2	NA	NA	NONE	NONE	NA	NONE	NONE
OS-2	Cattle Creek Park	0'/10'	0.5	NA	0	P	P	NAT/TURF	P	P
OS-3	Frontage Buffer	12'/25'	2.3	66%	1/30'	NONE	NONE*	NATURAL	NONE	NONE
OS-4	East RFTA Buffer	20'	1.8	50%	1/100'	NONE	NONE*	NAT/TURF	NONE	NONE
OS-5	West RFTA Buffer	50'	8.8	50%	1/100'	NONE	NONE*	NAT/TURF	NONE	NONE
OS-6	Glenwood Ditch	25'	2.1	66%	0	NONE	NONE*	NATURAL	NONE	NONE
OS-7	Wildlife Buffer	6'/12'	2.0	NA	1/100'	NONE	NONE	NATURAL	NONE	NONE
Neighborhood Open Spaces										
OS-8	Central Park	30'	0.2	5%	1/1200 SF	P	P	TURF	P	P
OS-9	Pocket Park	20'	0.1	5%	1/1200 SF	P	P	NAT/TURF	P	P
OS-10	Playground	20'	0.1	5%	0	P	P	TURF	P	P
OS-11	Linear Park	10'	0.1	5%	1/30'	P	P	NAT/TURF	P	P

* Except for road crossings and trails

P = Permitted

E. Open Space Standards

for outdoor activity. They should be easily accessible from public sidewalks or trails and be a short walk from the homes in the Neighborhood.

14. OS-10: Playgrounds are parks geared toward active recreation by children. They should include play equipment such as swings, slides and climbing structures.
15. OS-11: Linear Parks are for trails. The linear park should be wider than the trail and include trees placed at regular intervals along the path.
16. Table E1 columns:
 - a. Width: the column indicates 2 numbers that set a minimum width and the overall average width of the open space. The Open Space shall comply with both requirements.
 - b. Area: Sets the minimum area for the open space or the park type.
 - c. Max Slope: Sets the maximum slope of the open space as measured from opposite sides of the open

space.

- d. Trees: Minimum tree planting may be specified by spacing for linear open spaces or by area for parks.
- e. Irrigation: Because Irrigation is limited, most spaces shall not use an automatic irrigation system. The table indicates which open spaces permit irrigation.
- f. Paving: Paving, other than trails, within open spaces is limited to neighborhood parks.
- g. Ground cover: Ground Cover may be natural with native species or mulch, or turf which is to be irrigated and mowed. Turf is generally limited to the Neighborhood Open Spaces.
- h. Furnishings: Furnishings may include benches tables, bike racks, trash cans, water fountains etc. Generally Furnishings are limited to the Neighborhood Open Spaces.
1. Lighting: Lighting shall generally be the minimum necessary and shall comply with the Dark Sky requirements in Section H. The Community Open

TABLE E2 - NEIGHBORHOOD OPEN SPACE STANDARDS

R= REQUIRED

OS TYPE	DESCRIPTION	NORTH FRONT-AGE	NORTH CENTRAL	THE FARM	VILLAGE NEIGHBORHOOD	VILLAGE CENTER	NORTH RIVER-FRONT	CREEKSIDE	SOUTH RIVER-FRONT	SOPRIS	NATURE AREA
OS-8	Central Park	1	1		1	1		1			
OS-9	Pocket Park	1	2	2	1		1	1	1		
OS-10	Playground	1						1			
OS-11	Linear Park		1							1	

LANDSCAPE STANDARDS

1. The landscape standards govern primarily the planting of trees. Shrubbery and ground cover are not regulated in order to:
 - a. minimize the areas requiring an automatic underground irrigation system;
 - b. provide a natural appearance where feasible;
 - c. and minimize the landscape maintenance responsibility on the HOA and homeowners.
2. Street Tree species shall be selected from the Glenwood Springs Landscaping Guide. Street trees shall be limited to species identified as appropriate for streets and sidewalks.
3. The minimum size of street trees shall be 1.5 inch trunk diameter.
4. Street tree spacing shall not exceed 45' on center unless noted otherwise.
5. The Irrigated areas on lots shall be limited in accordance with the limits defined in Table E3.

TABLE E3 IRRIGATION COVERAGE LIMITS BY LOT

	MAX SF COVERAGE
CM LOT Commercial	20% of lot area
MX LOT Mixed	15% of lot area
MF-1 Multifamily	200 SF / DU
MF-2 Bungalow court	200 SF / DU
MF-3 Cottages	200 SF / DU
SF-1 Townhomes	400 SF
SF-2 Zero-lot-lines	600 SF
SF-3 Mid-size w alleys	900 SF
SF-4 Large w alleys	1300 SF
SF-5 Large w front driveways	1500 SF

E. Open Space Standards

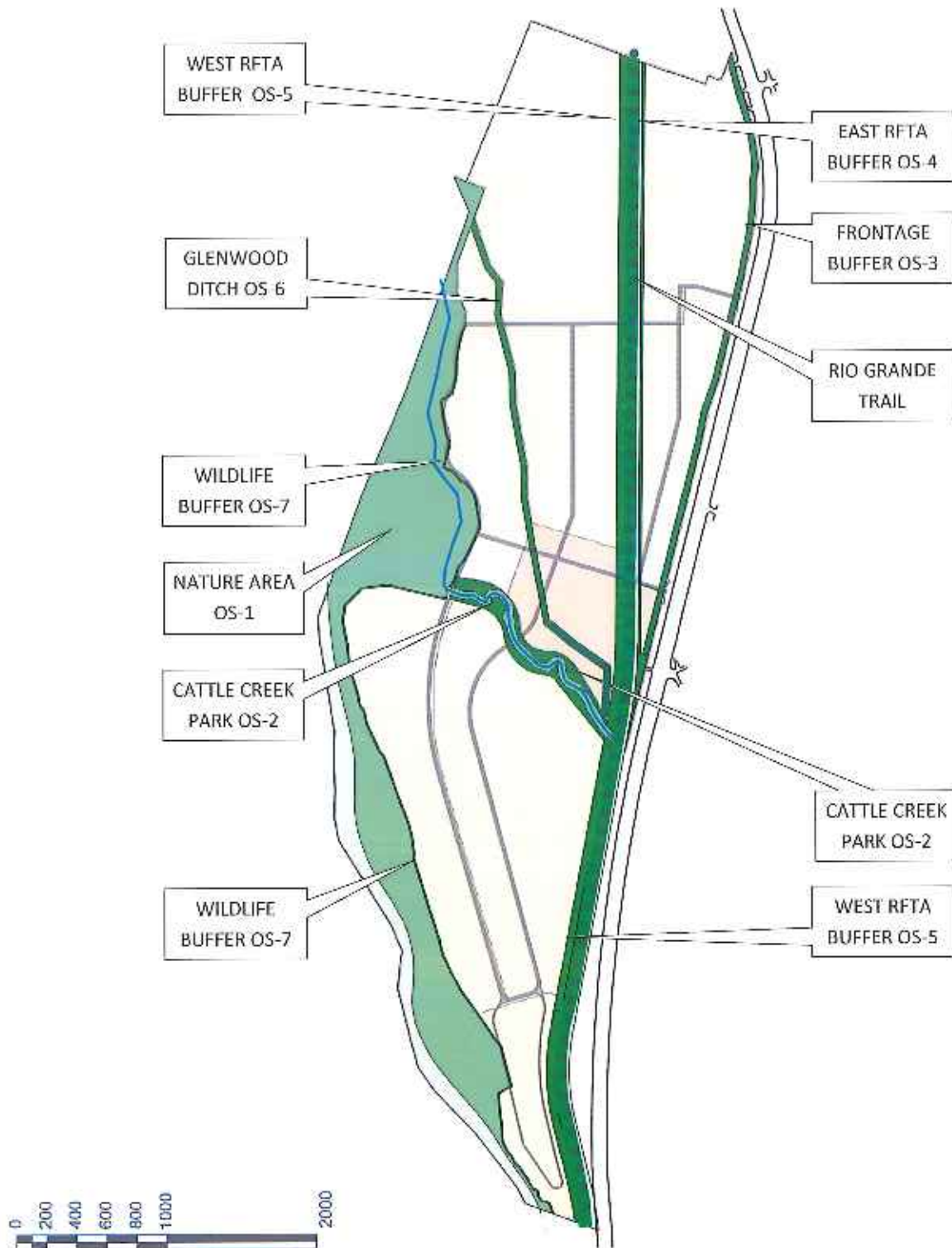
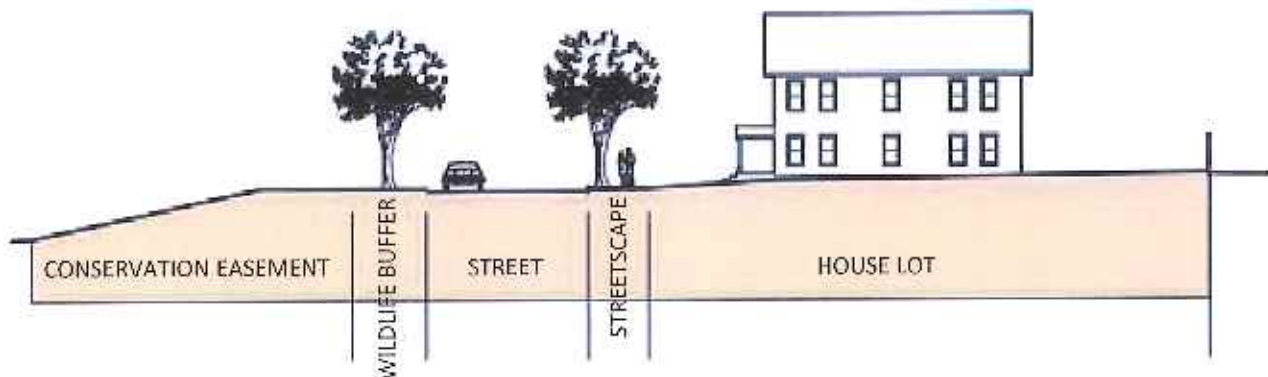


Figure E1 Community Open Space Network

F. Pedestrian and Bicycle Trail Network

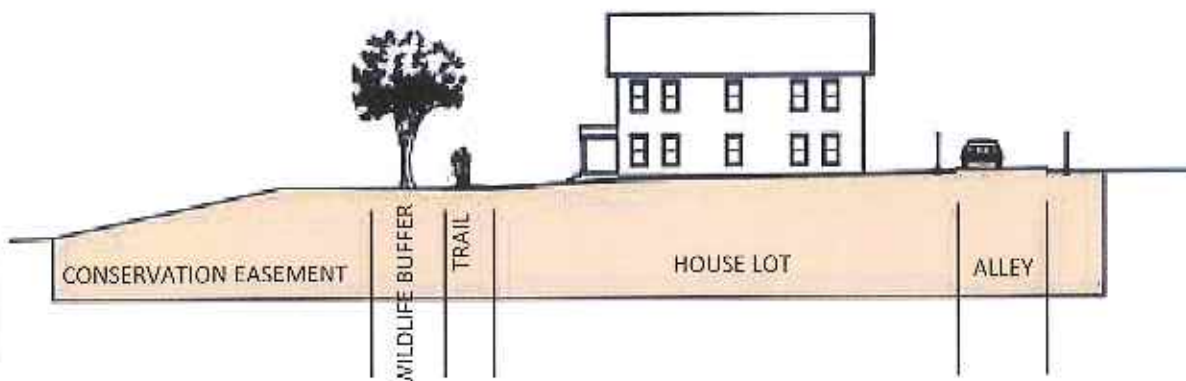
TRAILS

1. Figure F1 illustrates the Community Trail Network encompassing approximately 2 miles of trails. Although the illustrated alignment is not regulatory, the connection points indicated below are required.
2. Trails shall be paved, and a minimum of 6 feet in width unless otherwise noted.
3. Community Trail 1 shall join the North Frontage Neighborhood to Community Trail 2.
4. Trail 2 shall join Trail 1 to Trail 3 and shall be located either within the Wildlife Buffer bordering the Conservation Easement or along the Street bordering the Conservation Easement. See Figures F2 and F3.
5. Trail 3 shall join Trail 2 to the Village Center.
6. Trail 4 shall join Trail 2 to Trail 5 and shall be located either within the Wildlife Buffer bordering the Conservation Easement or along the Street bordering the Conservation Easement. See Figures F2 and F3.
7. Trail 5 shall join the Rio Grande Trail to Trail 4, pursuant to the approval of the RFTA access plan.
8. Additional trails may be added in any common area, and may be constructed with or without any connections to the Community trail network.



Community Trail 2 and/or Community Trail 4 shall be located **outside of** the Wildlife Buffer.

Figure F2 Trail Location with Single-loaded Street



Community Trail 2 and/or Community Trail 4 shall be **outside of** the Wildlife Buffer Open Space.

Figure F3 Trail Location with House Lot fronting onto the wildlife Buffer

F. Pedestrian and Bicycle Trail Network

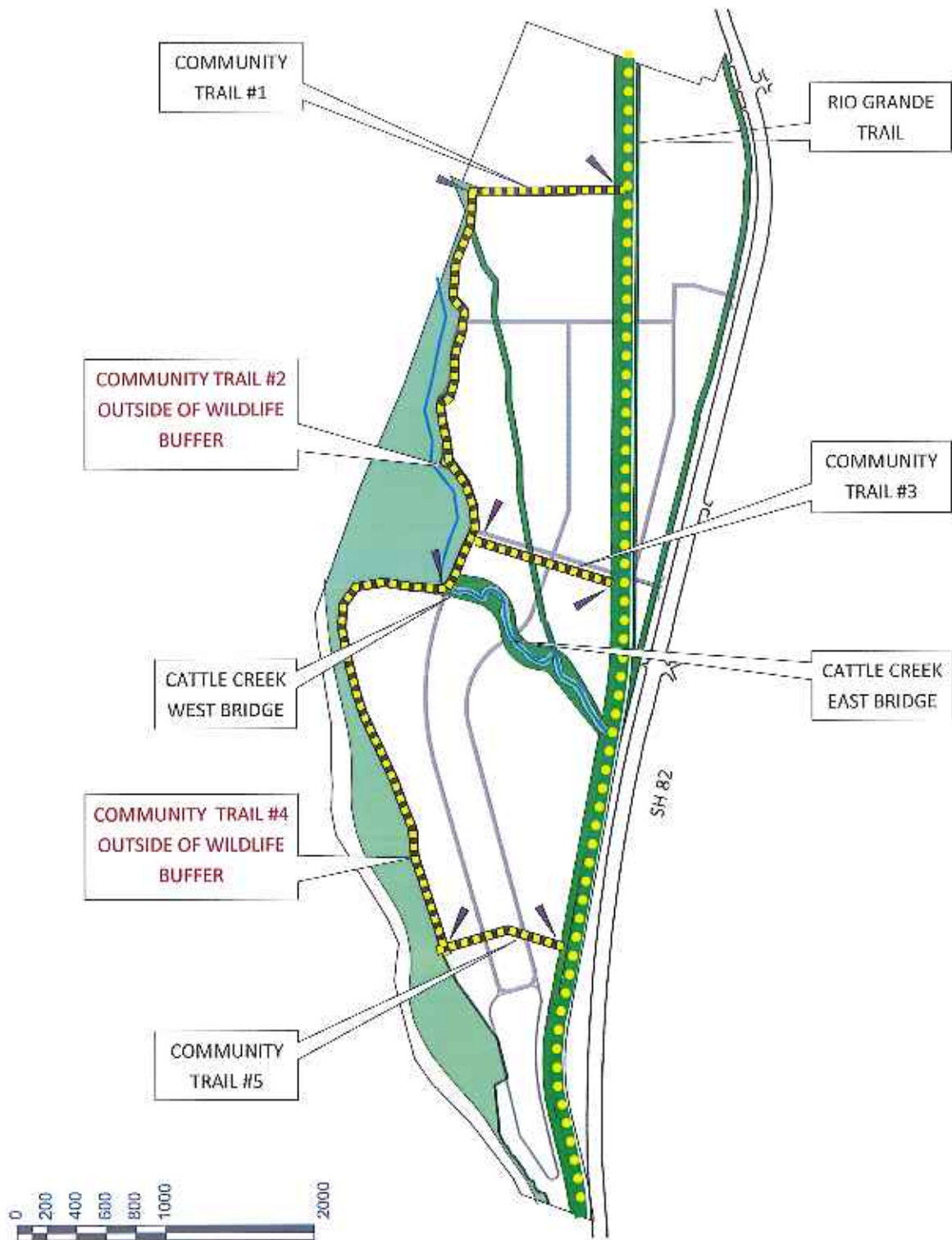
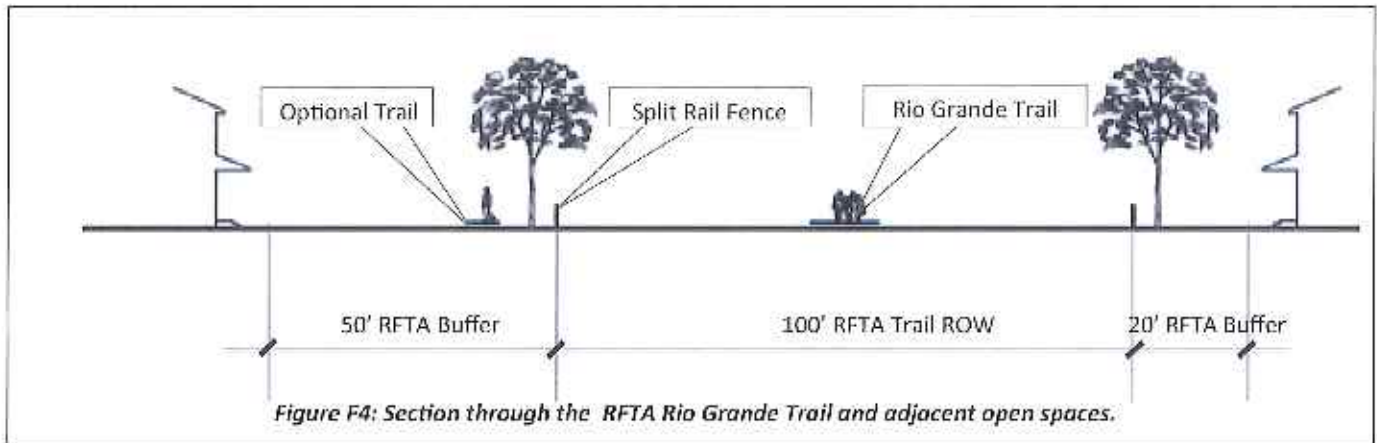


Figure F1 Community Trail Network

F. Pedestrian and Bicycle Trail Network

TRAILS

1. The Trail network shall be continuous throughout the community, meaning that trails shall connect to sidewalks to make the community accessible by foot or bicycle.
2. Community Trails indicated in Figure F1 shall be a minimum of 6' in width unless noted otherwise.
3. Community Trails may be located within a Linear Park or a Streetscape, or may be located on land with a public access easement.



F. Regional Trail Access

NOTES

1. The Applicant has multiple access and crossing rights outlined in a separate agreement or agreements between the Landowner and RFTA.
2. Any proposed additional access to the RFTA trail right-of-way is subject to an agreement and approval by the Roaring Fork Transit Authority.
3. If approved by RFTA, access from Harvest to the RFTA Rio Grande Trail ROW will conceptually follow this plan.
4. Connections north of Cattle Creek and south of Cattle Creek are proposed.
5. One at-grade vehicular crossing at RFTA Trail access #3 is proposed.
6. A grade separated bypass under the Harvest south entry road is proposed to allow RFTA trail users to bypass vehicular traffic crossing the RFTA ROW.
7. **Pedestrian trail access points shall be no closer than 800 feet apart.**

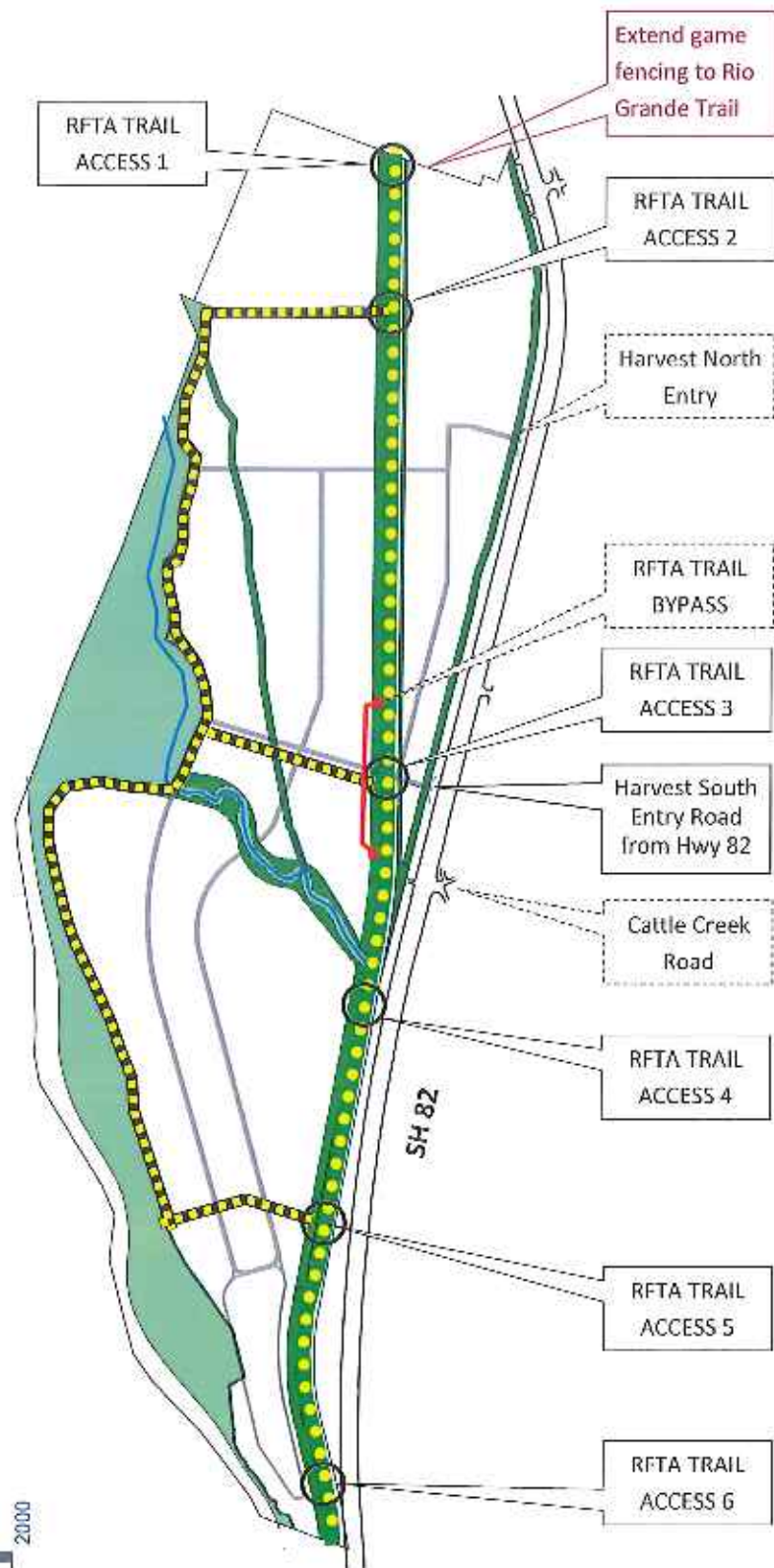


Figure F2 Public Transit Access Map

G. Architectural Standards

The building standards may differ for each building type so the standards are grouped into 3 categories: Single Family, Multifamily, and Commercial. Buildings are subject to review by the community architectural review committee.

Single Family

1. The minimum habitable, conditioned area for single family lots shall be 700 square feet per home.
2. Single family buildings and 1 or 2-story multifamily buildings (MF-2, MF-3, SF-1, SF-2, SF-3, SF-4, SF-4 SF-5) shall comply with the following standards.
 - a. Permitted materials for finished exterior walls include brick, stone, stucco, clapboard, vertical tongue & groove, metal cladding, and cementitious clapboard.
 - b. Permitted roofing materials for pitched roofs include asphalt shingles, standing seam metal roofing, simulated and authentic slate roofing, and roofing tiles. Flat roofs are permitted using TPO membrane.
 - c. Windows shall be wood or vinyl-clad frames with a thermal break.
 - d. Garage doors shall be painted aluminum, wood, or simulated wood.

Multifamily

3. The minimum habitable conditioned area for a multi-

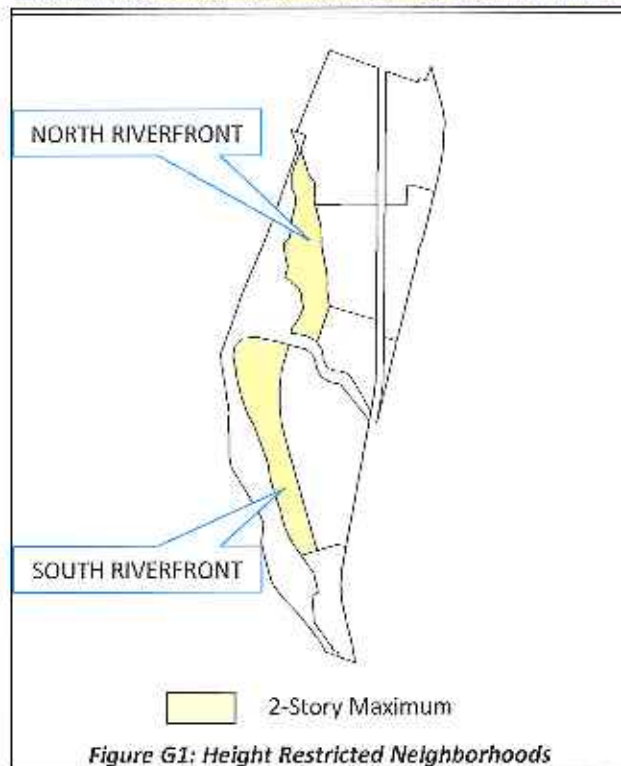


Figure G1: Height Restricted Neighborhoods

family dwelling unit shall be 400 square feet.

4. Multifamily buildings shall comply with the following standards.
 - a. Permitted Materials for finished exterior walls include brick, stone, stucco, clapboard, vertical tongue & groove, metal cladding, and cementitious clapboard.
 - b. Permitted roofing materials for pitched roofs include asphalt shingles, standing seam metal roofing, simulated and authentic slate roofing, and roofing tiles. Flat roofs are permitted using TPO membrane.
 - c. If the building includes a flat or low-slope roof, the roof shall include a parapet wall around the roof perimeter high enough to screen rooftop equipment.
 - d. Common entries shall include a covered or recessed entry.
 - e. Garages and carports shall not front onto public streets.

Commercial

5. The commercial and mixed-use buildings in the Village shall comply with the following standards. These standards apply exclusively to the commercial components within the Village Center.
 - a. Window Display: The interior window display is to be visible from the sidewalk. The display should be lighted.
 - b. Window Display Lighting: Lighting should be warm in color.
 - c. Window Display Window Coverings: If the ground floor space is occupied by a retail tenant, no coverings should be applied such as blinds, or draperies. If the space is occupied by an office or residential occupant, window coverings shall be permitted.
 - d. Display Window, Glass: Clear glass is recommended, insulated low-E glass is permitted. Heavily tinted or reflective glass is prohibited on retail display windows. Glass panels should have a generally vertical proportion.
 - e. Window Pediment: This is the section of wall under the display window elevating the glass above the sidewalk. Permitted materials include all materials in the materials section except glass. The minimum height is 6 inches; maximum height is

G. Architectural Standards

39 inches.

- f. Entry Doors, Transom: A transom or transom-type panel is recommended above the entry door(s) but is not required.
- g. Entry Doors, Canopy: If an awning or canopy is used over the entry doors, the canopy may extend into the Public ROW and may be supported on columns. However, the columns may not interfere with the clear path of the travel on the sidewalk.
- h. The Sign Band is required above the windows to display the identity of the business and express in graphic form the character of the business.
- i. Sign Band Maximum Height: The maximum height that is uninterrupted by a change in plane, change in material or a change in color, is 3 feet.
- j. Maximum Length: The maximum length of the building sign band is 20 feet.
- k. A base or water-table, the lowest element on the building façade, establishes a visible base for the materials above, is recommended but not required.
- l. Awnings: Retail shopfronts are encouraged to have awnings. Office street level windows within the Village Center do not require awnings.
- m. Lighting: Any lighting that creates glare, exposes the light source, or up-lighting, or shines light onto neighboring properties, is prohibited.

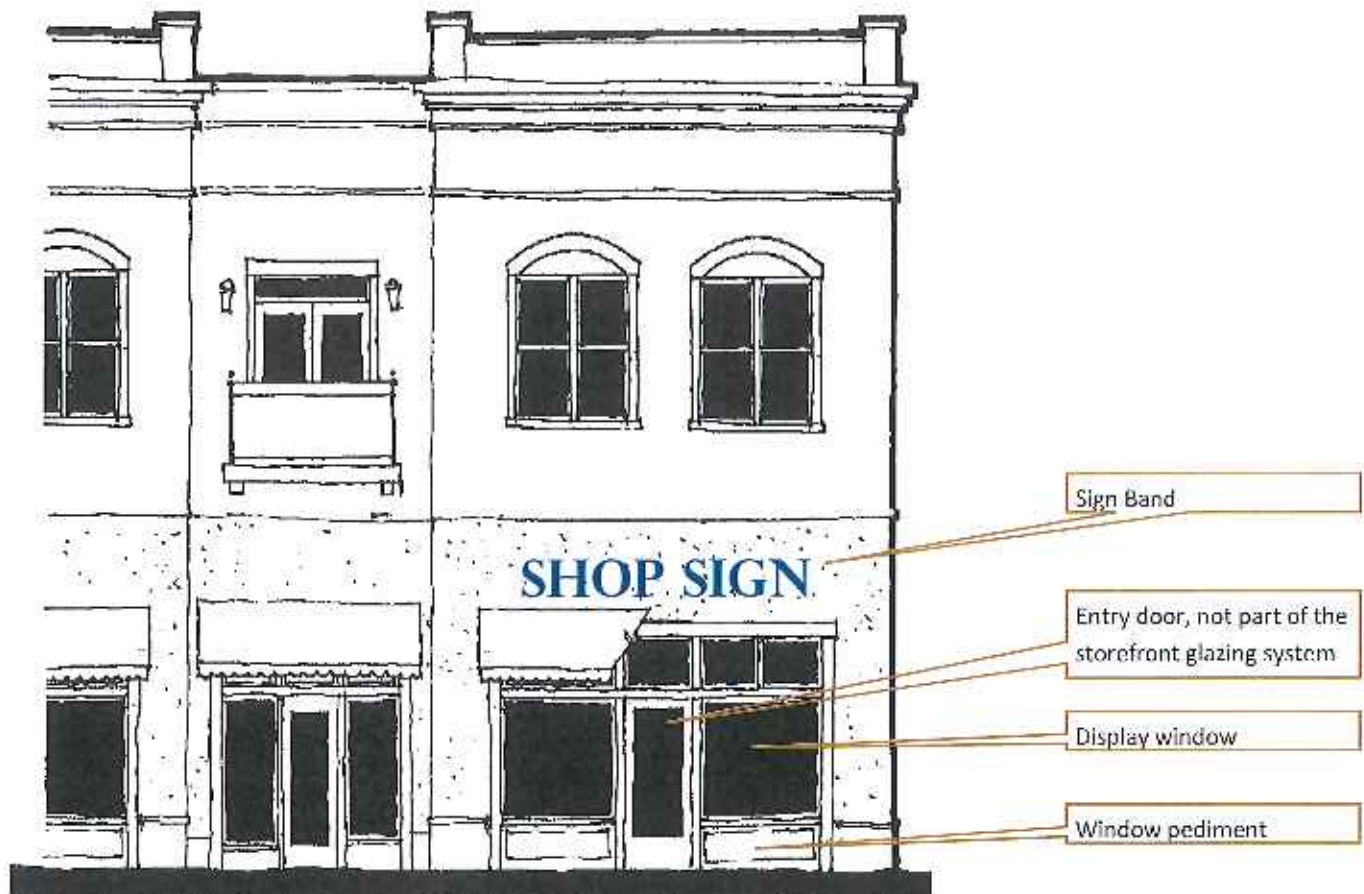


Figure G2: shopfront architectural Standards

H. Dark Sky Standards

1. As part of the Harvest's commitment to preserve wild-life habitat and views of the natural landscape, enforcing some common sense dark sky policies is consistent with Harvest design intent. **The rules to accomplish these goals shall differ somewhat from one neighborhood to another. At a minimum,** the following policies will extend into the CCR's and design guidelines for property owners.
2. **Street lights shall be limited in height, brightness, and energy usage, and shall require up-light shielding.**
3. **Residential and Commercial Buildings: Exterior lighting shall include restrictions on location, brightness, direction of light, and light trespass.**
4. **Signage: Signage lighting shall employ generally require indirect lighting, such that the light source is not** visible, and does not include up-lighting, **and shall restrict the brightness, locations, and hours of operation.**
5. **Parking lots: Parking lot lighting shall be limited in height, brightness, and energy usage, and shall require up-light shielding.**
6. **In general, the minimum brightness shall be employed for the purpose.**

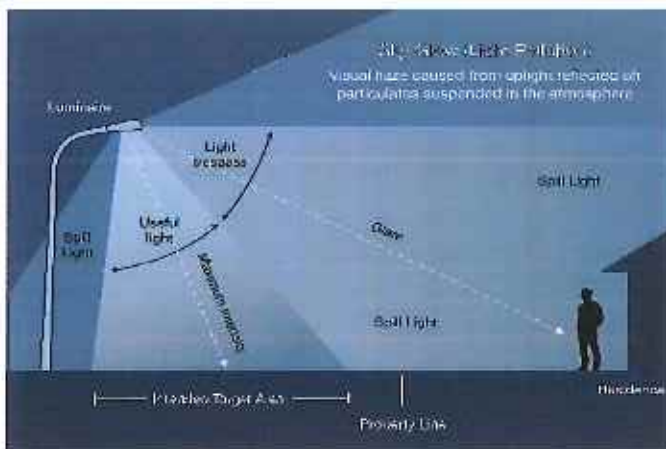


Figure H1: Example of light pollution without full cutoff fixtures

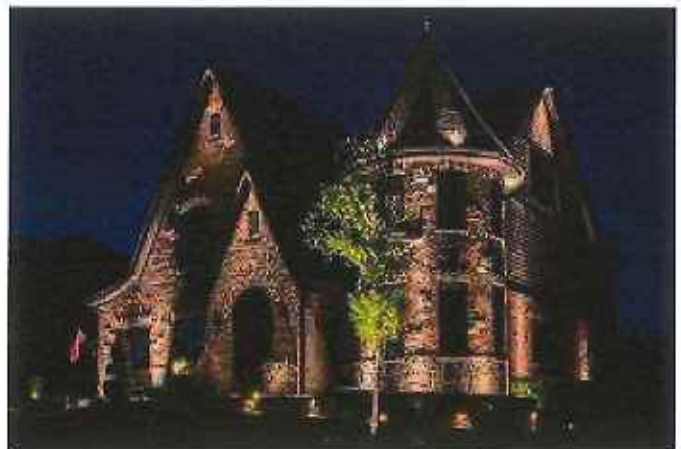


Figure H2: Example prohibited uplighting on homes



Figure H3: Lighting Temperature Guide

I. Signage Standards

1. Harvest signage shall comply with the CG/CL Sign category within Article 11 of the 2013 Garfield County LUDC, except as noted below.
2. There shall be a maximum of 4 Entry Monument Signs, one sign on each side of each entry.
3. There shall be a maximum of 4 Temporary Development signs.
4. All signs, excluding temporary decorative holiday lighting, shall have shielded and covered light bulbs and shall not blink or flash.
5. Sandwich board signs are permitted on sidewalks in front of commercial buildings provided they do not block the clear path of travel.
6. Wayfinding signage shall be permitted within the street rights-of-way, provided they do not create an obstruction for traffic visibility or create any hazard for motorists, cyclists, or pedestrians.

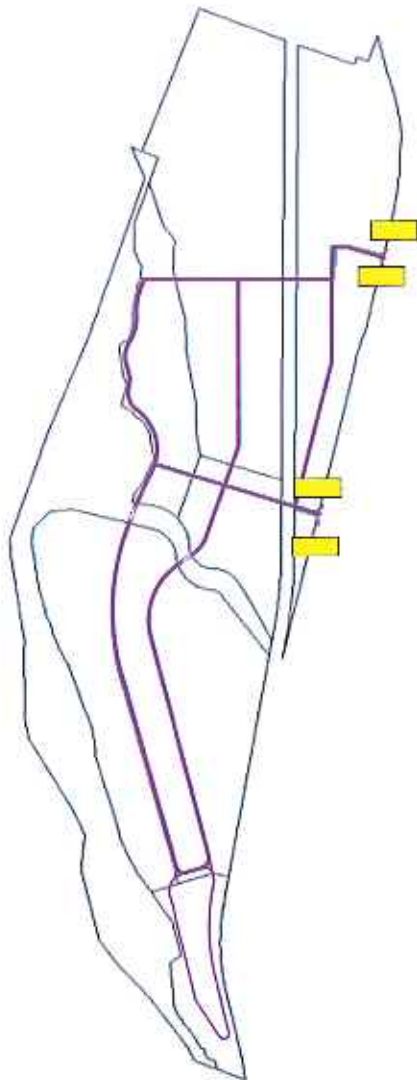


Figure 11: Maximum Entry Monument signs



I. Signage Standards

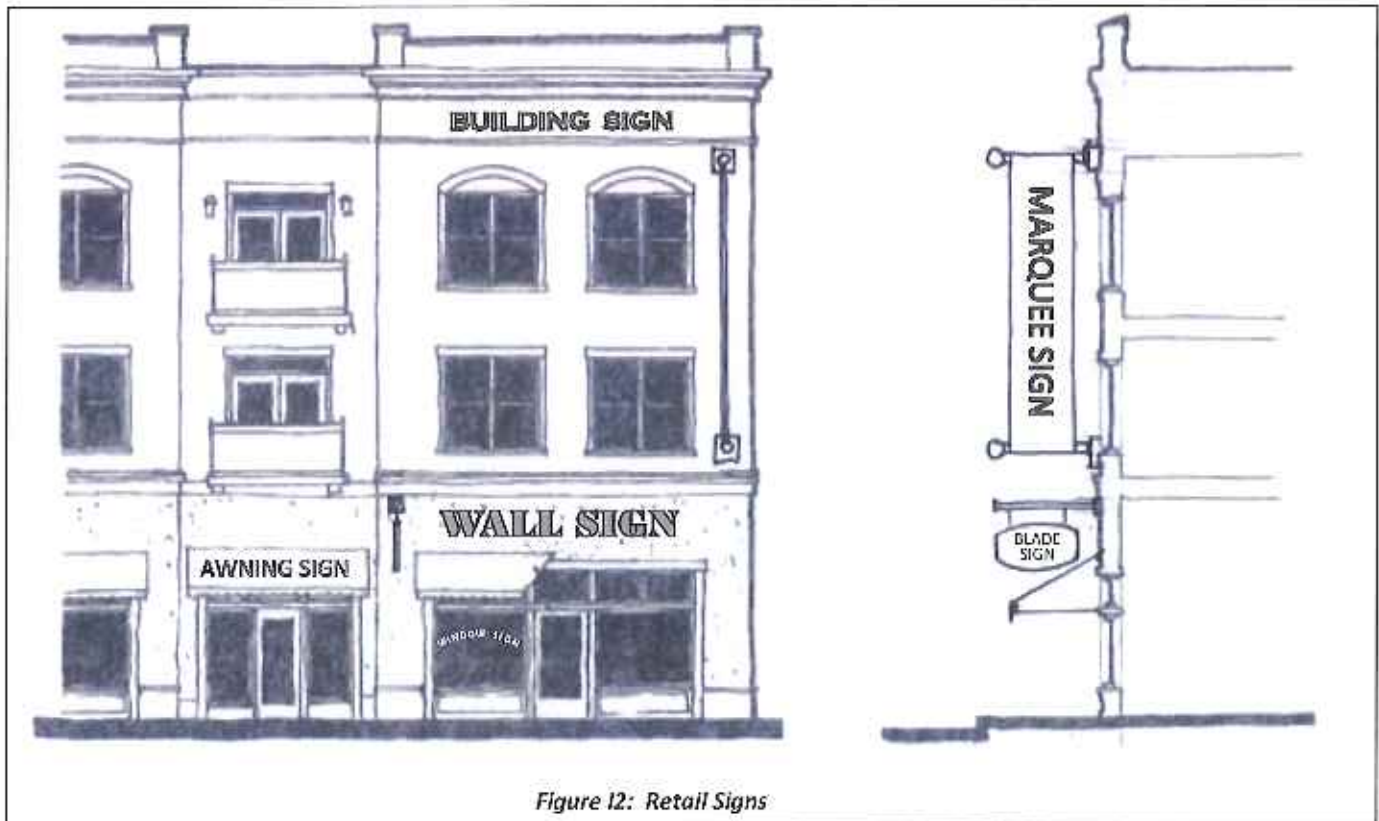


Figure 12: Retail Signs

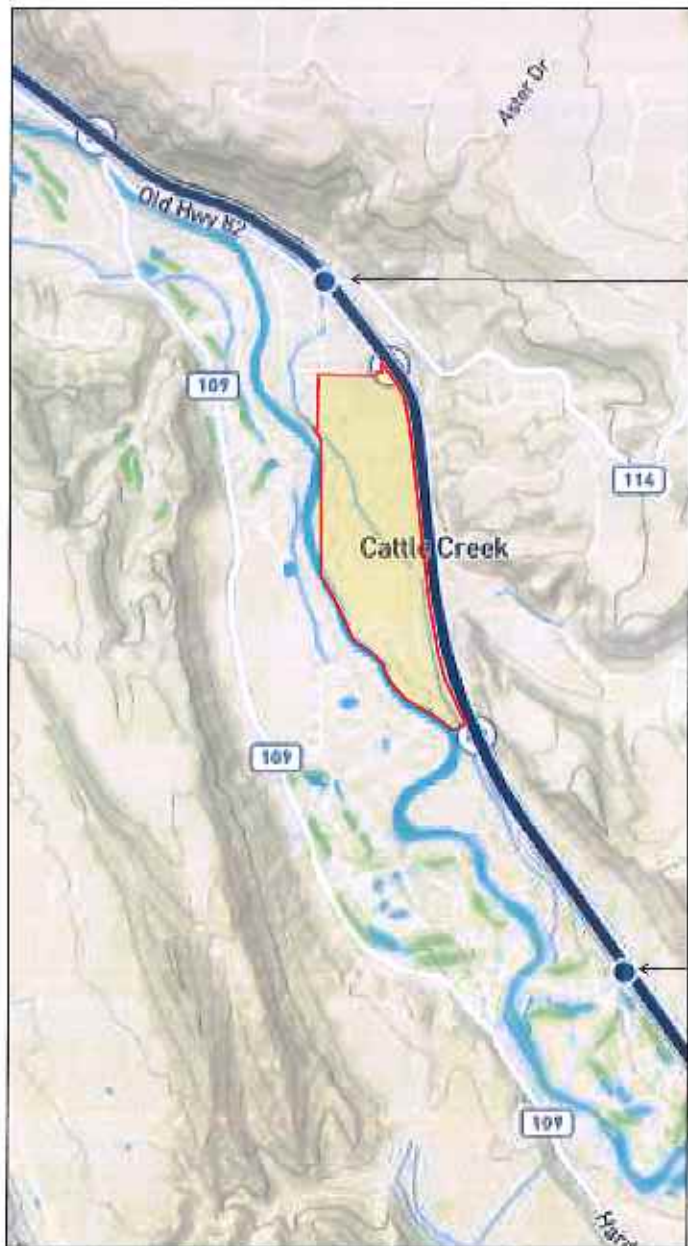
7. Retail Sign Standards

- a. **Wall Signs:** Wall signs are located above the first floor entry, and below the second level windows and are mounted on the face of the building. Businesses are permitted one sign per frontage. The maximum rectangle encompassing all the letters within a fascia sign shall not exceed 30 inches in height or 40 square feet of total area, calculated as the height of the tallest letter multiplied by the length of the sign. The sign will consist of individual letters, not panels or boxes.
- b. **Blade Signs:** Blade Signs are double faced and are oriented perpendicular to the face of the building. Each face shall not exceed 8 square feet.
- c. **Awnings:** An Awning is located at or above the windows and/or doors of the building facade. Awnings shall be constructed of matte fabric with a free bottom edge or may be a sheet metal canopy. Letters on the bottom hanging edge of the awning shall be 6" or less in height. Letters on the inclined surface may be up to 30" in height. Artwork may exceed 30". Awnings may located on all windows and doors.
- d. **Building Signs:** Signage identifying the building may be placed on each building frontage. The maximum rectangle encompassing all the letters within a fascia sign shall not exceed 30 inches in height or 40 square feet of total area, calculated as the height of the tallest letter multiplied by the length of the sign.
- e. **Marquee Blade Signs:** Marquee Blade Signs project from the face of the building and are double sided. They may be up to 15 feet in height and up to 40 square feet on each side.
- f. **Window Signs:** These are signs applied to the glass surface of windows. Signs shall not obscure more than 50% of the glass area.
- g. **Illumination:** Signs may be illuminated using any of the following methods
 - i. **Halo Lighting:** Neon hidden behind a solid, opaque letter, and lighting the background wall.
 - ii. **Up lighting:** Projecting fixtures attached to the building under the letters and arranged to project the light upward onto the letters. Lights shall be shielded or designed in order that there is no glare into the sky or upper level windows.
 - iii. **Down lighting:** Projecting fixtures attached to the building over the letters and arranged to project the light downward onto the letters. Lights shall be shielded or designed to avoid street-level glare.
- h. **Prohibited Signs:**
 - i. Internally illuminated, face-lit, channel cut letters.
 - ii. Internally illuminated face-lit boxes.
 - iii. Neon signs
 - iv. Flashing, rotating, blinking, or moving signs.
 - v. Exposed electrical raceways or buses.

J. Alternative Transportation, Transit Stops

1. Harvest provides direct access to the RFTA Rio Grande Trail connecting to up Valley and down-Valley transit stops for

both Spring Valley, approximately a half mile north of Harvest and Aspen Glen, about 1.2 miles south of Harvest.



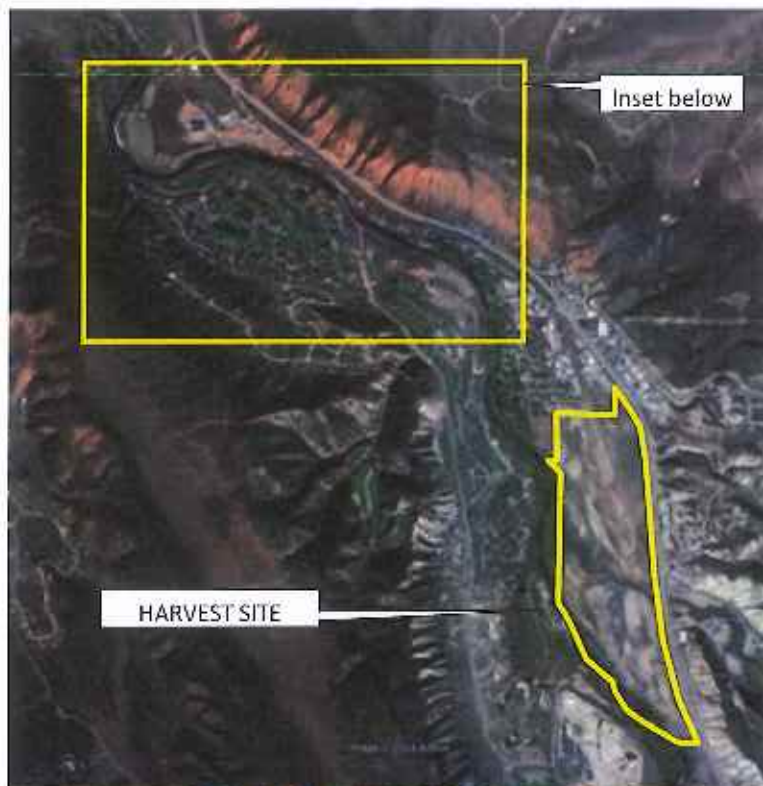
BUS STOP: Spring Valley Rd stop accessible via the Rio Grande Trail from Harvest.



BUS STOP: Aspen Glen stop accessible via the Rio Grande Trail from Harvest.

Figure J11: Maximum Entry Monument signs

J. Alternative Transportation, Safe Route to School



Hardwick Bridge Trail Diagram RFSD Safe Route to Riverview School

0 200 400 600 800 1000
Updated July 27, 2022 by The Land Studio, Inc.



- A.** The Rio Grande Trail is currently used as the primary regional trail in the Roaring Fork Valley. It is an important bike/pedestrian path to Riverview School for students living north towards Glenwood Springs and south towards the Spring Valley Road/Highway 82 intersection.
- B.** A safe bike/pedestrian crosswalk with Rectangular Rapid Flashing Beacons has been established at the Westbank Road/County Road 109/Ironbridge Phase 3 intersection. This crossing connects the existing Ironbridge bike/pedestrian path to the new Hardwick Bridge Trail.
- C.** A new bike/pedestrian path along County Road 109 and Ironbridge Phase 3 has been established down to the Hardwick Bridge that crosses the Roaring Fork River. This path has new vehicular guardrails protecting path users from vehicles on County Road 109, and new guardrails along the steep slopes to the river to protect users from the steep hillside. A safe bike/pedestrian crosswalk has also been established at a private driveway crossing.
- D.** The Hardwick Bridge has been restored as a new bike/pedestrian crossing over the Roaring Fork River! New bridge supports, wood decking, and guardrails have been installed on the bridge. A safe bike/pedestrian crosswalk with Rectangular Rapid Flashing Beacons has been established at the County Road 109 and 154 intersection on the northeast side of the bridge.
- E.** A new bike/pedestrian path has been constructed from the County Road 109 and 154 intersection northwest to the Rio Grande Trail. This section of the new path has peeled log guardrail to protect users from the steep hillside below.
- F.** A safe bike/pedestrian crosswalk with Rectangular Rapid Flashing Beacons has been constructed at the existing Rio Grande Trail intersection with County Road 154. Landforms and vegetation have also been removed near the intersection for better vehicular/bike/pedestrian visibility.
- G.** A new bike/pedestrian path has been constructed on the north side of Riverview School to connect the school to the Rio Grande Trail.



K. Viewshed Protection

1. The protection of the viewsheds is important not only to the greater community but to Harvest as well. In order to preserve the views from SH 82 and from the Roaring Fork river banks, the building heights and building locations are subject to review of sight lines to determine the impact of building height and placement. The development uses this tool to minimize the impact of the development on the greater community.
2. Figure K1 is an excerpt from the LUDC defining the portions of the viewshed. The following analysis focuses on the view angles that would preserve views of the Plateau, the Escarpment and also the steeper portions of the Talus Slopes.
3. Figure K2 is a map of the Garfield County portion of the Roaring Fork Watershed. The map indicates that the topography is steeper toward the west than it is toward the east of the Roaring Fork River.
4. Figure K3 is a photo of the site looking to the north capturing the mountains to the east and west of the Roaring Fork River.
5. The following documents include a typical section through the Roaring Fork Watershed north of Cattle Creek in order to demonstrate the approximate view angles from SH 82, and from the west bank of the Roaring Fork River over the proposed development. The analysis assumes that two-story structures are between 25' and 35' in height and 3-story structures are between 35 and 45 feet in height.
6. Understanding that the analysis does not constitute a comprehensive study of all views from all angles, it is intended to provide preliminary insight into the probable impact to the viewshed.
7. Figure K4 is the plan view of the section through the Roaring Fork Watershed and Figure K5 is the raw data of the section profile shown to scale, with the Roaring Fork River, the SH 82 and the Rio Grande Trail indicated.
8. Figure K5 shows the cross section through the watershed with the Harvest site, Roaring Fork River, Rio Grande Trail, and SH 82 indicated. The west and east view angles, designed to meet the Talus Slope, are labelled and quantified as 1° and 3° above horizontal.
9. The line indicating 35' above the existing grade over the Harvest site is shown in violet. The view angles pass above the 35' line indicating that the views are generally preserved.



Figure K2: Map of the Garfield County portion of the Roaring Fork Watershed

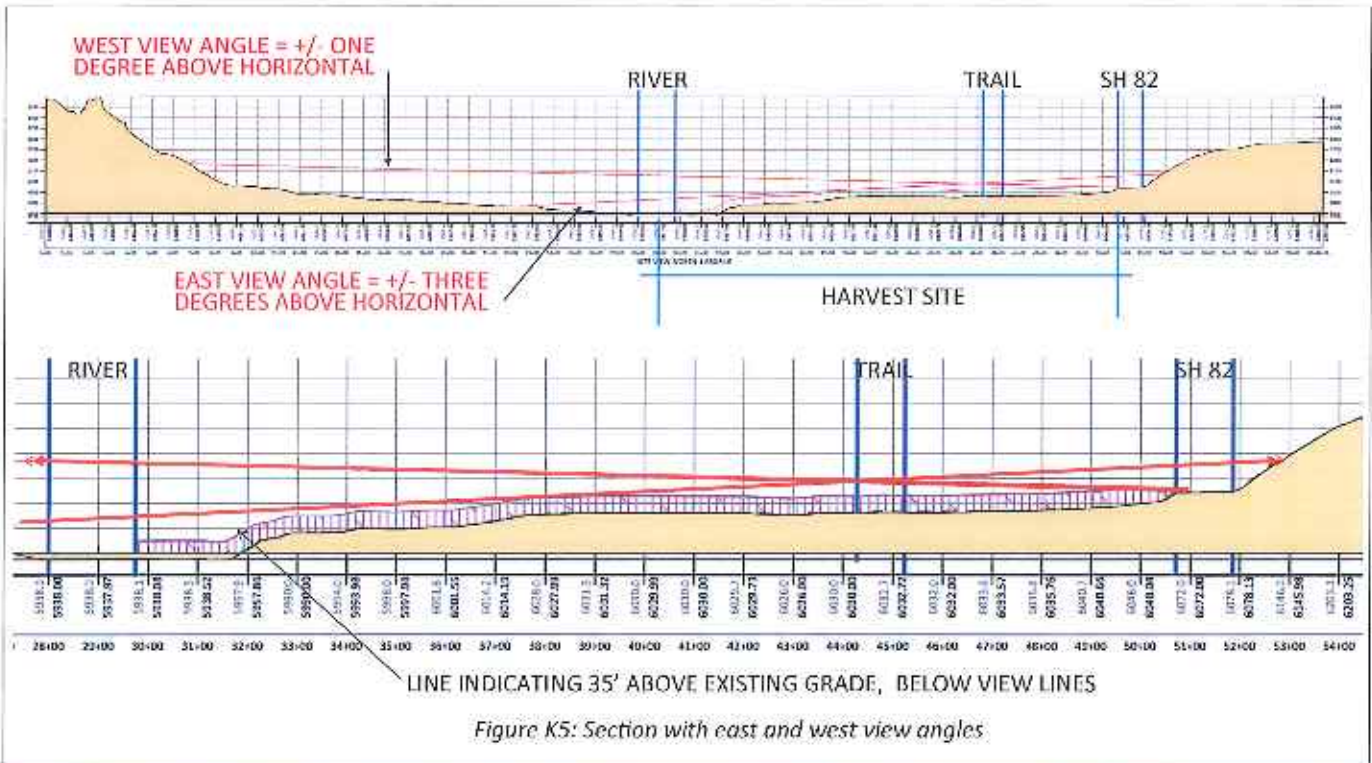


Figure K3: Photo of the Harvest site looking north, down the Roaring Fork Valley



Figure K4: Section through Watershed

K. Viewshed Protection



Note, please see Exhibit U attached to the PUD application for a further viewpoint analysis.